



Town of Arnprior

Regular Meeting of Council Agenda

Date: Monday, April 14th, 2025

Time: 6:30 p.m.

Location: Council Chambers – 105 Elgin Street West, Arnprior

- 1. Call to Order**
- 2. Roll Call**
- 3. Land Acknowledgement Statement**
- 4. Adoption of Agenda (Additions / Deletions)**
- 5. Disclosures of Pecuniary Interest**
- 6. Question Period**
- 7. Adoption of Minutes of Previous Meeting(s) (Except Minutes of Closed Session)**
 - a) [Regular Meeting of Council – March 24, 2025](#) (Page 1-12)
 - b) [Special Meeting of Council – April 8, 2025](#) (Page 13-15)
- 8. Awards / Delegations / Presentations**
 - a) [Fire Department 2024 Annual Report](#) (Page 16-61)
- 9. Public Meetings**
 - a) [Zoning By-law Amendment 2/25 \(87 Claude St.\)](#) (Page 62-71)

10. Matters Tabled / Deferred / Unfinished Business

11. Notice of Motion(s)

12. Staff Reports

- a) **Zoning By-law Amendment 2/25 (87 Claude Street)**, Alix Jolicoeur, Manager of Community Services/Planner (Page 62-71)
- b) **Zoning By-law Amendment 4/25 (Marshall's Bay Meadows Phase 5A & 5B)**, Alix Jolicoeur, Manager of Community Services/Planner (Page 72-101)
- c) **Zoning By-law Amendment 7/24 (Sawmill Flats Phase 3)**, Alix Jolicoeur, Manager of Community Services/Planner (Page 102-125)
- d) **Gaumont Bequest Funding Application – Arnprior & District Humane Society**, Kaila Zamojski, Town Clerk (Page 126-132)
- e) **Proclamation - National Accessibility Week (May 2025)**, Kaitlyn Wendland, Client Services Coordinator (Page 133-135)
- f) **Proclamation - Earth Day (April 22nd, 2025)**, Kaitlyn Wendland, Client Services Coordinator (Page 136-138)
- g) **Proclamation - Community Living Month (May 2025)**, Kaitlyn Wendland, Client Services Coordinator (Page 139-143)

13. Committee Reports and Minutes

- a) **Mayor's Report**
- b) **County Councillor's Report**
- c) **Committee Reports and Minutes**
 - i) **Accessibility & Age Friendly Advisory Committee Minutes – March 5, 2025** (Page 144-147)
 - ii) **Culture & Diversity Advisory Committee – March 3, 2025** (Page 148-152)

14. Correspondence & Petitions

a) Correspondence

- i) Correspondence Package I-25-APR-07
- ii) Correspondence Package A-25-APR-04

15. By-laws & Resolutions

a) By-laws

- i) **By-law No. 7583-25** – Zoning By-law Amendment 2/25 (87 Claude St.) (Page 153-154)
- ii) **By-law No. 7584-25** – Dedicated Gas Tax Funds for Public Transportation Program (Page 155-161)

b) Resolutions

- i) **Arnprior Women's Optimistic Club** (Page 162)
- ii) **Renfrew County 4H Association** (Page 163)

16. Announcements

17. Closed Session

One (1) matter pursuant to Section 239 (2)(b) of the Municipal Act 2001, as amended, to discuss a personal matter about an identifiable individual, including municipal or Local Board employees (Town Awards – Volunteer, Senior and Youth); and

One (1) matter pursuant to Section 239 (2)(e) and (f) of the Municipal Act, 2001, as amended, to discuss litigation or potential litigation, including matters before administrative tribunals, affecting the municipality or local board and advice that is subject to solicitor-client privilege, including communications necessary for that purpose (Claim)

18. Confirmatory By-law

By-law No. 7585-25 to confirm the proceedings of Council

19. Adjournment

Please Note: Please see the [Town's YouTube channel](#) to view the live stream. The meeting will be uploaded to YouTube for future viewing.

The agenda is made available in the Clerk's Office at the Town Hall, 105 Elgin Street West, Arnprior and on the Town's [website](#). Persons wishing to receive a print item on the agenda by email, fax, or picked up by hand may request a copy by contacting the Clerk's Office at 613-623-4231 ext. 1818. The Agenda and Agenda items will be prepared in an accessible format upon request.

Full Distribution: Council, C.A.O., Managers and Town Administrative Staff and Town Website



ARNPRIOR

Minutes of Council Meeting

March 24th, 2025 6:30 PM

Town Hall, Council Chambers – 105 Elgin St. W. Arnprior, ON.

Council and Staff Attendance

Council Members Present (In-Person):

Mayor Lisa McGee
County Councillor Dan Lynch
Councillor Ted Strike
Councillor Lynn Cloutier
Councillor Chris Toner
Councillor Chris Couper

Council Members Present (Electronic):

Councillor Tom Burnette

Council Members Absent:

Town Staff Present:

Robin Paquette, CAO
Jennifer Morawiec, General Manager,
Client Services / Treasurer
Kaila Zamojski, Town Clerk
Graeme Ivory, Director of Recreation
Alix Jolicoeur, Manager of Community
Services / Planner
John Steckly, General Manager, Operations
Patrick Foley, Engineering Officer
Ryan Wall, Engineering Officer
Jessica Schultz, A/Environmental
Engineering Officer
Scott Matthews, Waterworks Supervisor
Kaitlyn Wendland, Client Services
Coordinator

1. Call to Order

Mayor Lisa McGee called the Regular Council Meeting to order at 6:30 PM and welcomed those present.

2. Roll Call

The roll was called, with all Members of Council being present.

3. Land Acknowledgement Statement

Mayor Lisa McGee asked everyone to take a moment to acknowledge and show respect for the Indigenous Peoples as traditional stewards of the land we operate on, by stating:

“I would like to begin by acknowledging that the land on which we work, and gather is the traditional unceded territory of the Anishinaabe People. This Algonquin Nation have lived on this land for thousands of years, long before the arrival of the European settlers, and we are grateful to have the opportunity to be present in this territory.”

4. Adoption of Agenda

Resolution Number 105-25
Moved by Chris Couper
Seconded by Lynn Cloutier

Be It Resolved That the agenda for the Regular Meeting of Council dated Monday, March 24th, 2025 be adopted.

Resolution Carried

5. Disclosures of Pecuniary Interest

None

6. Question Period

None

7. Adoption of Minutes of Previous Meeting(s)

Resolution Number 106-25
Moved by Dan Lynch
Seconded by Lynn Cloutier

That the minutes of the Special and Regular Meetings of Council listed under Item 7 (a) and (b) on the Agenda be adopted (Special and Regular Meetings of Council – March 10th, 2025).

Resolution Carried

8. Awards/Delegations/Presentations

None

9. Public Meetings

None

10. Matter Tabled/ Deferred/ Unfinished Business

None

11. Notice of Motion(s)

None

12. Staff Reports

a) **Awarding of Tender PW-2025-02 (Edey, MacDonald, Vancourtland Reconstruction and Inspection and Baskin PXO) – Engineering Officer**

Resolution Number 107-25

Moved by Chris Couper

Seconded by Ted Strike

That Council award Tender PW-2025-02 to Tarstone Canada Ltd. for \$3,039,900.87 (Incl HST); and

Further That Council award the contract for Contract Administration and Inspection of project PW-2025-02, under standing offer agreement, to JP2G Consultants Inc. for \$203,874.60 (Incl HST)

Further That upon the CAO's approval of the final form of the foregoing documents, Council authorize the CAO to enter into a contract agreement with Tarstone Canada Ltd and JP2G Consultants Inc. to execute the works.

Resolution Carried

b) **Request for Award – PW-2025-04 – Public Works Garage Roof Replacement – Engineering Officer**

Resolution Number 108-25

Moved by Chris Toner

Seconded by Lynn Cloutier

That Council enact a by-law to:

- a. Award the Arnprior Public Works Garage Roof Replacement Tender No. PW-2025-04 to Simluc Contractors, for a total of \$125,148.00 (plus HST); and
- b. Award quality assurance and contract administration services to Rimkus for a total of \$5,785.00 (plus HST); and
- c. Authorize the General Manager, Operations to spend additional contingency expenses up to \$12,735.06 (including net HST) which constitutes 10% of the total Contract value.
- d. Fund the shortfall of \$15,972.48 from the Capital Expenditure Reserve Fund; and
- e. Authorize the CAO to execute the agreements, and related documents with Simluc Contractors to implement the defined scope of work.

Resolution Carried

c) Skatepark Procurement Strategy – Engineering Officer and Director of Recreation

Resolution Number 109-25
Moved by Chris Couper
Seconded by Ted Strike

That Council approve the location of the new skatepark at 77 James Street on the vacant land adjacent to the entrance; and

That Council approve pre-committing the 2026 budget construction value of \$250,000 in addition to the already committed \$25,000 design budget, allowing for the procurement process (design-build) to proceed in 2025, with planned construction in 2026.

Resolution Carried

d) 2024 DWQMS Audits and Management Review Results – A/Environmental Engineering Officer

Resolution Number 110-25
Moved by Dan Lynch
Seconded Lynn Cloutier

That Council receive Report Number 25-03-24-04 for information, which summarizes the 2024 Drinking Water Quality Management System (DWQMS) activities.

That Council authorize the Chief Administrative Officer (CAO) and the General Manager, Operations on behalf of Top Management, and the Mayor, on behalf of Council, to endorse the QMS Commitment and Endorsement Policy, to meet the requirements of the Town of Arnprior Drinking Water Quality Management System Operational Plan.

At the request of County Councillor Lynch, through Mayor McGee, a recorded vote was taken:

Councillor Tom Burnette	Yes
Councillor Lynn Cloutier	Yes
Councillor Chris Couper	Yes
County Councillor Dan Lynch	Yes
Councillor Ted Strike	Yes
Councillor Chris Toner	Yes
Mayor Lisa McGee	Yes

Resolution Carried

e) 2024 Annual Report - Arnprior Water Pollution Control Centre and Arnprior Drinking Water System – Waterworks Supervisor

Resolution Number 111-25

Moved by Chris Couper

Seconded by Ted Strike

That Council receive this report for information and receive the following additional reports for information:

1. Arnprior Water Pollution Control Centre Summary Report 2024.
2. Town of Arnprior Waterworks, Annual Report 2024.
3. Arnprior Water Filtration Plant Summary Report 2024.
4. MECP Arnprior DWS 2024-25 Inspection Report # 1-382703310, dated January 16, 2025

Further That a copy of the above noted reports be made available to the Public for review in hard copy format at the Town Hall and in electronic format on the Town's website.

Resolution Carried

f) Zoning By-law Amendment 2/25 (87 Claude Street) – Manager of Community Services/Planner

Resolution Number 112-25

Moved by Lynn Cloutier

Seconded by Chris Toner

That Council receives an application for an amendment to Zoning By-law 6875-18 for 87 Claude St, to amend the zoning of the subject property from Residential Two (R2) to Residential One (R1) in order to allow development of a single detached dwelling.

Further That pursuant to Section 34(12) of the Planning Act, Council holds a public meeting on April 14, 2025, regarding the proposed amendment, to allow for public review and comment.

Resolution Carried

g) Variance Request to Sign By-law 5209-04 for 12 Thomas Street S. Apartments – CAO

Resolution Number 113-25
Moved by Chris Couper
Seconded by Dan Lynch

That Council approve variances from the provisions of the Sign and Merchandise Display By-law No. 5209-04 to permit a ground mounted off-site development sign located within the municipal road allowance (exemption from Sec 5.5) of William Street and within 100m of a Residential Zone (exemption from Sec 6.11 a), as requested by the owner of 12 Thomas Street South;

And Further That Council require the developer to enter into a lease agreement, the content of which be subject the satisfaction of the CAO and Town Solicitor, to permit the developer to locate a sign on the William Street road allowance.

Resolution Carried

h) That Council proclaim April 13th to 19th, 2025 as 911 Dispatcher Appreciation Week in the Town of Arnprior – Town Clerk

Resolution Number 114-25
Moved by Lynn Cloutier
Seconded by Chris Toner

That Council proclaim April 13th to 19th, 2025 as 911 Dispatcher Appreciation Week in the Town of Arnprior.

Resolution Carried

The Town Clerk read the proclamation:

Whereas emergencies can strike without warning, necessitating immediate action and the involvement of well-prepared emergency services; and

Whereas the 911 Dispatchers of the Renfrew Central Ambulance Communications Centre, Ontario Provincial Police, and the Brockville Fire Department serve as the unsung heroes and vital first point of contact in these critical moments, acting with speed, precision, and empathy; and

Whereas 911 Dispatchers skillfully dispatch paramedic services, fire departments and police services, coordinating essential resources and personnel to manage crises effectively and efficiently; and

Whereas their expertise and calm demeanor under pressure ensure the efficient coordination of life-saving services, bridging the gap between the community in distress and the swift response of emergency services; and

Whereas through their diligent efforts, 911 Dispatchers uphold the highest standards of public safety, contributing significantly to the protection of life and property; and

Whereas their role as the cornerstone of the emergency response system is characterized by a remarkable commitment to providing care and ensuring the safety of both the public and emergency responders; and

Whereas the professionalism, skill, and compassion exhibited by these dedicated individuals not only save lives but also provide reassurance and hope to those in urgent need; and,

Now Therefore, the Town of Arnprior, does hereby proclaim April 13th to 19th, 2025 as 911 Dispatcher Appreciation Week in the Town of Arnprior and encourage all residents to acknowledge and celebrate the exceptional service and commitment of our local 911 Dispatchers whose work is essential in maintaining the safety and well-being of our community.

i) Proclamation for World Autism Day (April 2nd, 2025) – Town Clerk

Resolution Number 115-25

Moved by Lynn Cloutier

Seconded by Dan Lynch

That Council proclaim April 2nd, 2025 as World Autism Day in the Town of Arnprior.

Resolution Carried

The Town Clerk read the proclamation:

Whereas World Autism day is recognized on April 2nd, 2025, in Canada; and

Whereas Autism Ontario is one of the largest collective voices representing the autism community, and the work they do helps all autistic individuals and the families of these individuals have access to meaningful support, information, and connections everyday throughout the year; and

Whereas Autism impacts more than 135,000 individuals in Ontario, representing 1 in every 50 Canadian children and youth. It not only influences the lives of autistic individuals but also their friends, families, and communities; and

Whereas Autism is a diverse spectrum that varies widely among individuals. Each person's experience with autism can change over time. This evolving journey highlights the uniqueness of every autistic individual, emphasizing the need for understanding and support tailored to their specific needs; and

Whereas Autism Ontario is the leading source of information and referral on autism, and since 1973, has been providing support, information, and opportunities for thousands of families and individuals across the province; and

Whereas it is crucial for us to raise awareness, acceptance, provide support and promote a more inclusive society; and

Whereas this year Autism Ontario is encouraging individuals to “Celebrate the Spectrum” by creating your own Tie-Dye shirt, as the tie-dye concept symbolizes the individuality of all autistic individuals, just as each shirt is one-of-a-kind, so too is every person on the autism spectrum.

Now Therefore, the Town of Arnprior, does hereby proclaim April 2nd, 2025 as World Autism Day in the Town of Arnprior and encourages all residents to learn more about Autism, create a tie-dye shirt, and help promote awareness, acceptance and inclusivity in our community.

13. Committee Reports and Minutes

a) Mayor’s Report

Mayor Lisa McGee reported the following:

- I had the pleasure and privilege to go to Queen’s Park last Tuesday where I celebrated former Arnprior Town Councillor Billy Denault’s swearing in ceremony. Outgoing MPP John Yakabuski attended, as did members of Billy’s family who are as proud of him as we are. Those of us who were there were treated to an insiders tour of Queen’s Park and had the pleasure of speaking with several MPPs, among them Minister Sylvia Jones, Minister of Health. Minister Jones was one of the first ones to reach out to Billy and congratulate him and she openly shared her commitment to helping him navigate his early days at Queen’s Park as he gets comfortable in his new role.

b) County Councillor’s Report

County Councillor Lynch reported the following from the County of Renfrew:

- As a result of the contract with the Pembroke Hospital in 2026, the paramedics will be moving to a newly purchased location, 330 Boundary Road East, as well as the adjacent property that will permit vehicles to enter the station from International Drive.
- The County Council meeting scheduled for the 11th of June has been moved to the 12th of June to accommodate the AMO Rural Healthy Democracy Forum being held in the Municipality of Mississippi Mills.

c) Committee Reports and Minutes

Resolution Number 116-25

Moved by Lynn Cloutier

Seconded by Chris Toner

That Council receive the Advisory Committee Minutes listed under item 13 (c) (i) and (ii) as information (Accessibility and Age Friendly Advisory Committee – November 5, 2024 and Environmental Advisory Committee – November 18, 2024).

Resolution Carried

Councillor Chris Toner provided the following updates from the Seniors Active Living Centre Advisory Committee:

- The centre had nearly 700 sign-ins this past month.
- The results of the latest survey (126 respondents) pointed out that the current centre space is inadequate, the centre needs to be opened more outside the posted hours (with 3-5 being the majority choice for the extended hours) and that more crafts, bus trips, card games, social coffee hour and tai chi were the programs most respondents mentioned.
- There was also a question regarding volunteering at the SALC to see if there were interested members willing to operate the centre during the 3-5 timeslot. There was a positive response. The SALC also included extended hours for one day a week in the ministry application – waiting on approval.
- There are staffing gaps currently at the SALC. The Program Coordinator is still on extended leave and the Program Assistant worked her last day on Wednesday, March 19th. The advisory committee thanked her for doing an excellent job during the Coordinator's absence and wish her success in her new role at L'arche in Arnprior. A new program assistant interview process is underway, and a new staff person will be hired soon. There is a plan to use the current budgeted payroll savings to keep the centre open later this fall and winter.
- The centre is still looking to enhance programming for male members as well as veterans. Two new sound bath sessions will be added, as both filled up quickly and the advisory committee were happy to move our next two scheduled meetings to accommodate this popular program.

14. Correspondence & Petitions

a) Correspondence Package No. I-25-MAR-06

Resolution Number 117-25

Moved by Chris Couper

Seconded by Lynn Cloutier

That Correspondence Package Number I-25-MAR-06 be received as information and filed accordingly.

Resolution Carried

County Councillor Dan Lynch noted the following items

- Page 13: The AMO Rural Healthy Democracy Forum is being held in the neighbouring Municipality of Mississippi Mills June 11, 2025. The registration fee for the event is \$50. More information on registration is forthcoming. I will be attending this forum.
 - The CAO noted that if any other member of Council would like to attend to advise her.
- Page 13: Municipalities must report their 2024 energy consumption by July 1 under O.Reg 25/23. Are we experiencing any issues with this Energy Report?
 - The General Manager, Client Services/Treasurer indicated that the Operations department submits their annual report to the Ministry by the July 1 deadline each year as per O.Reg 25/23. The five-year Energy Conservation and Demand Management Plan is included on the Town website and was approved by Council in 2024.
- Page 14: The Ontario Business Improvement Area Association has released a toolkit to promote a national “Shop Main Street Canada, Support Local” initiative. Is this toolkit of any value to the Town?
 - The CAO noted that staff are looking at it and are sure it will be of assistance as we continue to support shopping local with the relaunch of the “Live Love Local” campaign as “Shop Arnprior”, with more promotion coming shortly.
- Page 24: On April 6, the Arnprior Regional Hospital Foundation is holding a “Fire Truck Pull” in the Rona Parking Lot. Has the Town submitted a team?
 - The CAO noted that the Town does have a team participating with members of the Fire Department stepping up to represent the Town.

15. By-laws & Resolutions

a) By-laws

Resolution Number 118-25

Moved by Tom Burnette

Seconded by Dan Lynch

That the following by-law be and is hereby enacted and passed:

- i. By-Law No. No. 7574-25 – Appoint A / Deputy Treasurer – K. Eastman
- ii. By-law No. 7575-25 – Award Contract for Tender PW-2025-02 - Edey, MacDonald, Vancourtland Reconstruction and Baskin PXO to Tarstone Canada Ltd.
- iii. By-law No. 7576-25 – Award Contract for Tender PW-2025-04 - Public Works Garage Roof Replacement to Simluc Contractors
- iv. By-law No. 7577-25 – Release of Watermain Easement (Hyor Holdings)
- v. By-Law No. 7578-25 - Appointments to Council Remuneration Ad Hoc Committee

- vi. By-Law No. 7579-25 – Appointment to Committee of Adjustment and Property Standards Committee (Councillor Ted Strike)
- vii. By-Law No. 7580-25 – Amend By-law No. 7467-24 – Appoint New Council Member to Environmental Advisory Committee (Councillor Ted Strike)

Resolution Carried

b) Resolutions

None

16. Announcements

Councillor Lynn Cloutier made the following announcement:

- I wanted to take a moment to say congratulations to our new MPP Billy Denault, and to recognize and thank John Yakabuski for his many years of service. He was a champion for the Ottawa Valley. I am confident in Billy moving forward. I would ask that the Town to send a letter to express our gratitude to former MPP John Yakabuski for his service on behalf of Council.

County Councillor Dan Lynch made the following announcements:

- I was remised at not recognizing another Arnprior resident, Glenn Wallace, a teacher at ADHS, who received His Majesty King Charles III Coronation Medal for his exceptional contributions in the classroom and his commitment to helping youth excel academically and in extracurricular activities.
- Feel like being a chef? April 6th from 2 to 6 at the Christian Education Centre you could be part of the volunteer group making meat pies.
- Congrats to our Recreation Team who put on a fabulous St. Patrick's Day event at the Nick Smith Centre.
- Knights Legion Euchre Challenge is over with the Legion winning.

Councillor Chris Couper made the following announcement:

- Unfortunately, on the evening of March 16th, the Arnprior and District Humane Society suffered significant flooding as a result of heavy rain, melting snow and warmer temperatures. The shelter faced at least \$30,000 in costs for clean up and repairs. The good news is, the nearly 80 cats inside were unharmed. The bad news is the insurance will not cover the damage as ground water flooding was excluded from their policy. The Arnprior and District Humane Society is asking for support for the aftermath of this uninsured damage that they received. I would ask what measures there are for the Town to be able to assist this vital organization.
 - The CAO responded that the Town has the Gaumond Bequest Fund that can provide funding to Animal Shelters in Arnprior for Capital Costs. The Society is encouraged to submit an application for Council consideration. Staff have reached out and the Arnprior and District Humane Society was grateful for the outreach.

- Reminder for homeowners to check with their insurance broker, because a lot of people think that flooding is naturally covered under your policy and what we are seeing is that sewer back up will be covered and you can add flooding for fresh water but it is an extra thing you have to add. Worth making sure you're covered as the melt starts happening and water starts moving around. It could save you a considerable amount of money.

17. Media Questions

None

18. Closed Session

None

19. Confirmatory By-Law

Resolution Number 119-25

Moved by Dan Lynch

Seconded by Chris Couper

That By-law No. 7581-25, being a By-law to confirm the proceedings of the Regular Meeting of Council held on March 24th, 2025, be and is hereby enacted and passed.

Resolution Carried

20. Adjournment

Resolution Number 120-25

Moved by Lynn Cloutier

Seconded by Ted Strike

That this meeting of Council be adjourned at 8:10 PM.

Resolution Carried

Signatures

Lisa McGee, Mayor

Kaila Zamojski, Town Clerk



ARNPRIOR

Minutes of Special Council Meeting

April 8th, 2025 5:00 PM

Town Hall, Council Chambers – 105 Elgin St. W. Arnprior, ON.

Council and Staff Attendance

Council Members Present (In-Person):

Mayor Lisa McGee
County Councillor Dan Lynch
Councillor Ted Strike
Councillor Tom Burnette
Councillor Chris Toner
Councillor Chris Couper

Town Staff Present:

Robin Paquette, CAO
Jennifer Morawiec, General Manager,
Client Services / Treasurer
Kaila Zamojski, Town Clerk
Kaitlyn Wendland, Client Services
Coordinator

Council Members Absent:

Councillor Lynn Cloutier

1. Call to Order

Mayor Lisa McGee called the Special Council Meeting to order at 5:00 PM and welcomed those present.

2. Roll Call

The roll was called, with all Members of Council being present except Councillor Lynn Cloutier.

3. Land Acknowledgement Statement

Mayor Lisa McGee asked everyone to take a moment to acknowledge and show respect for the Indigenous Peoples as traditional stewards of the land we operate on, by stating:

“I would like to begin by acknowledging that the land on which we work, and gather is the traditional unceded territory of the Anishinaabe People. This Algonquin Nation have lived on this land for thousands of years, long before the arrival of the European settlers, and we are grateful to have the opportunity to be present in this territory.”

4. Adoption of Agenda

Resolution Number 121-25
Moved by Dan Lynch
Seconded by Chris Couper

Be It Resolved That the agenda for the Special Meeting of Council dated Tuesday, April 8th, 2025 be adopted.

Resolution Carried

5. Disclosures of Pecuniary Interest

None

6. Closed Session

Resolution Number 122-25 (5:02 PM)

Moved by Tom Burnette

Seconded by Ted Strike

That Council move into Closed Session to discuss one (1) matter pursuant to the Municipal Act, 2001, as amended, Section 239 (3.1)(1) a meeting held for the purpose of educating or training members (Code of Conduct and Council Staff Relations Refresher Training); and one (1) matter pursuant to the Municipal Act, 2001, as amended Section 239 (2)(b) personal matters about an identifiable individual, including municipal or local board employees (Employee Contract)

Resolution Carried

Resolution Number 123-25 (7:25 PM)

Moved by Chris Toner

Seconded by Dan Lynch

That Council resume to Open Session.

Resolution Carried

Resolution Number 124-25

Moved by Tom Burnette

Seconded by Ted Strike

That Council hereby waives the requirement of Clause 12 of the current employment agreement between the Town of Arnprior and the CAO.

Resolution Carried

7. Confirmatory By-Law

Resolution Number 125-25

Moved by Chris Couper

Seconded by Dan Lynch

That By-law No. 7582-25, being a By-law to confirm the proceedings of the Special Meeting of Council held on April 8th, 2025, be and is hereby enacted and passed.

Resolution Carried

8. Adjournment

Resolution Number 126-25
Moved by Chris Toner
Seconded by Tom Burnette

That this meeting of Council be adjourned at 7:26 PM.

Resolution Carried

Signatures

Lisa McGee, Mayor

Kaila Zamojski, Town Clerk



Fire Department Annual Report

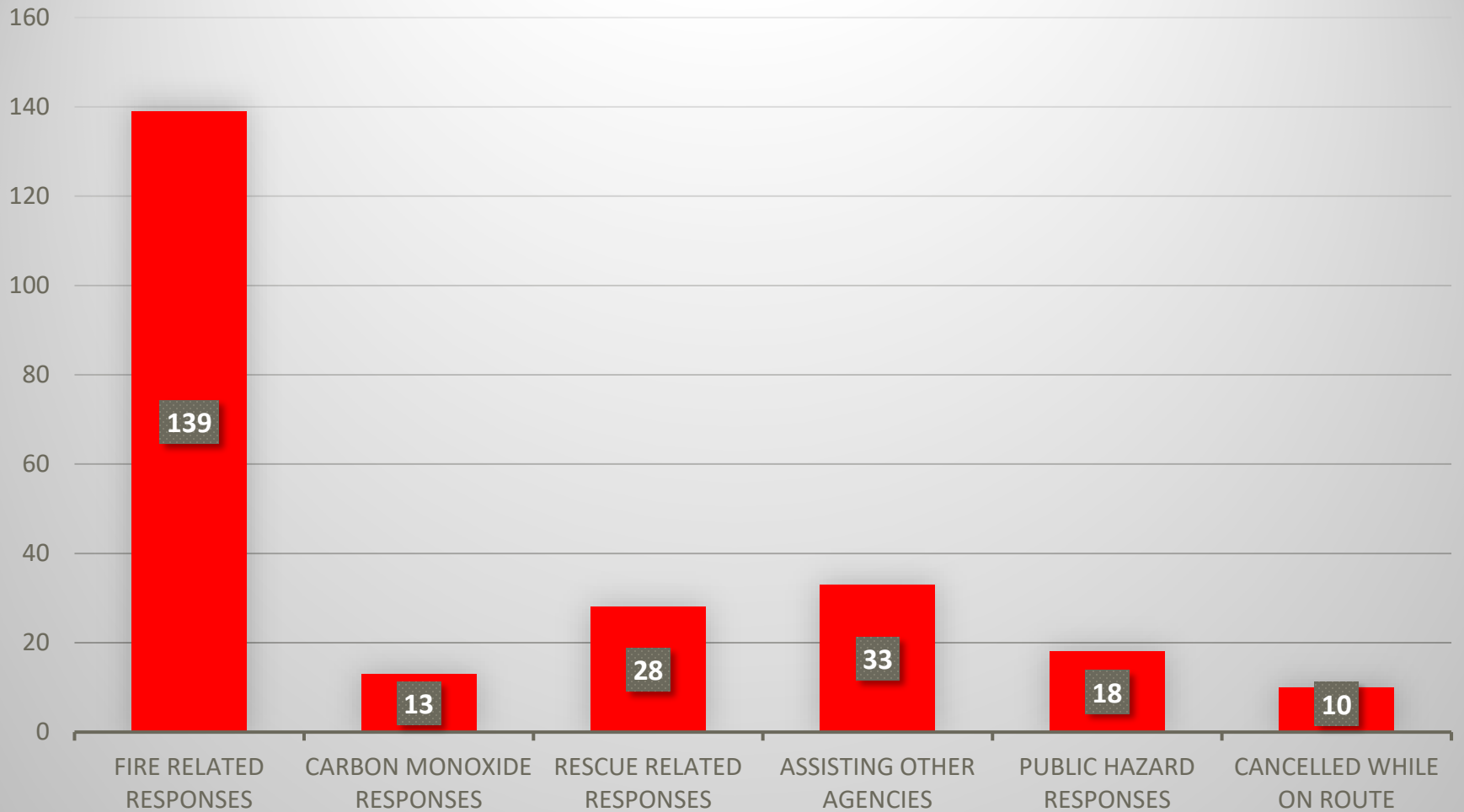
Rick Desarmia, Fire Chief
April 14, 2025



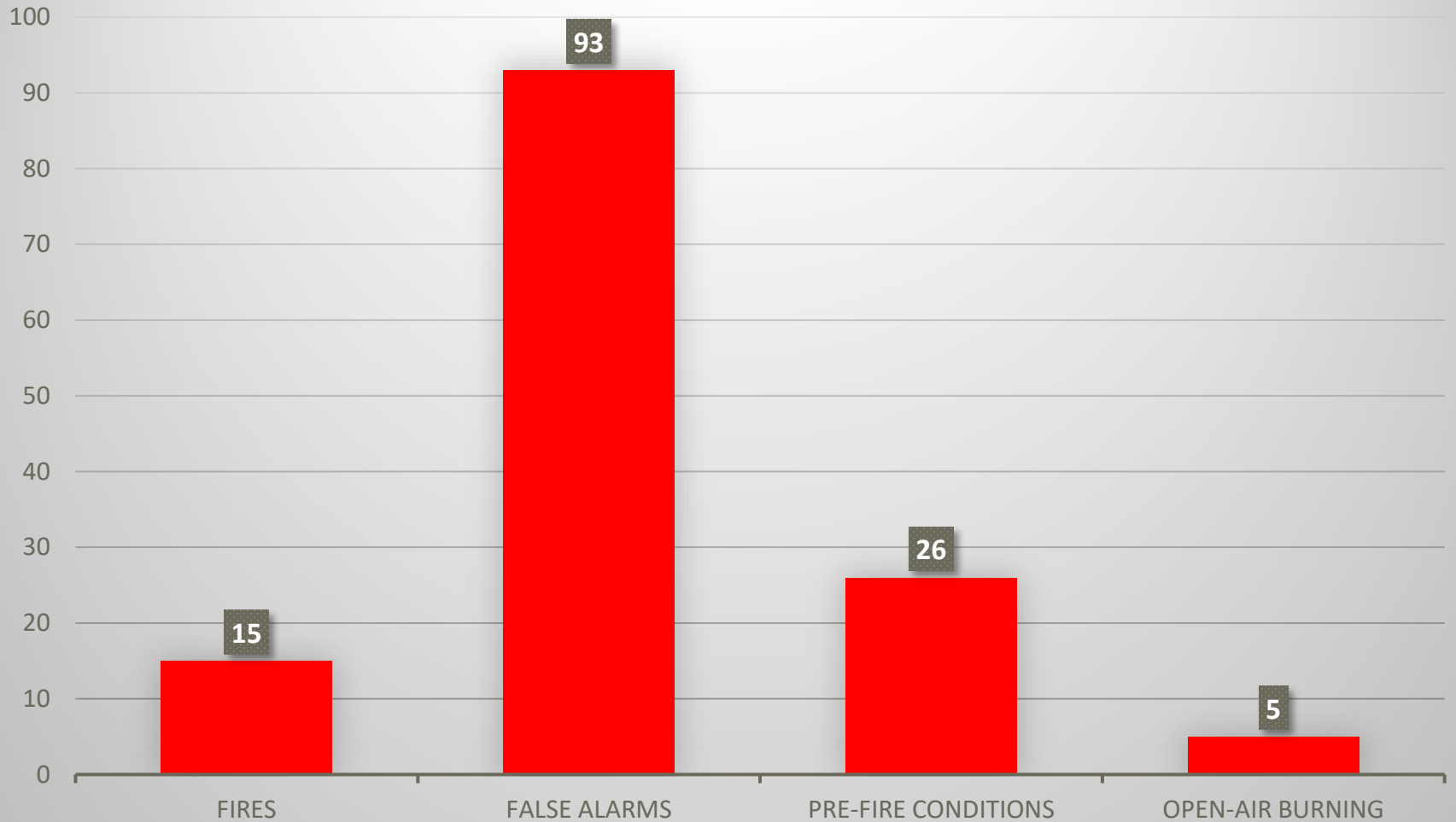
2024 Fire Dept. Stats

- 2024 brought a significant increase in demand from the community for responses by the Arnprior Fire Department with 237 calls for service recorded.
- This was an increase from the 185 calls recorded in both 2022 and 2023.
- There is no real other apparent reason for the increase in demand other than growth of our community.

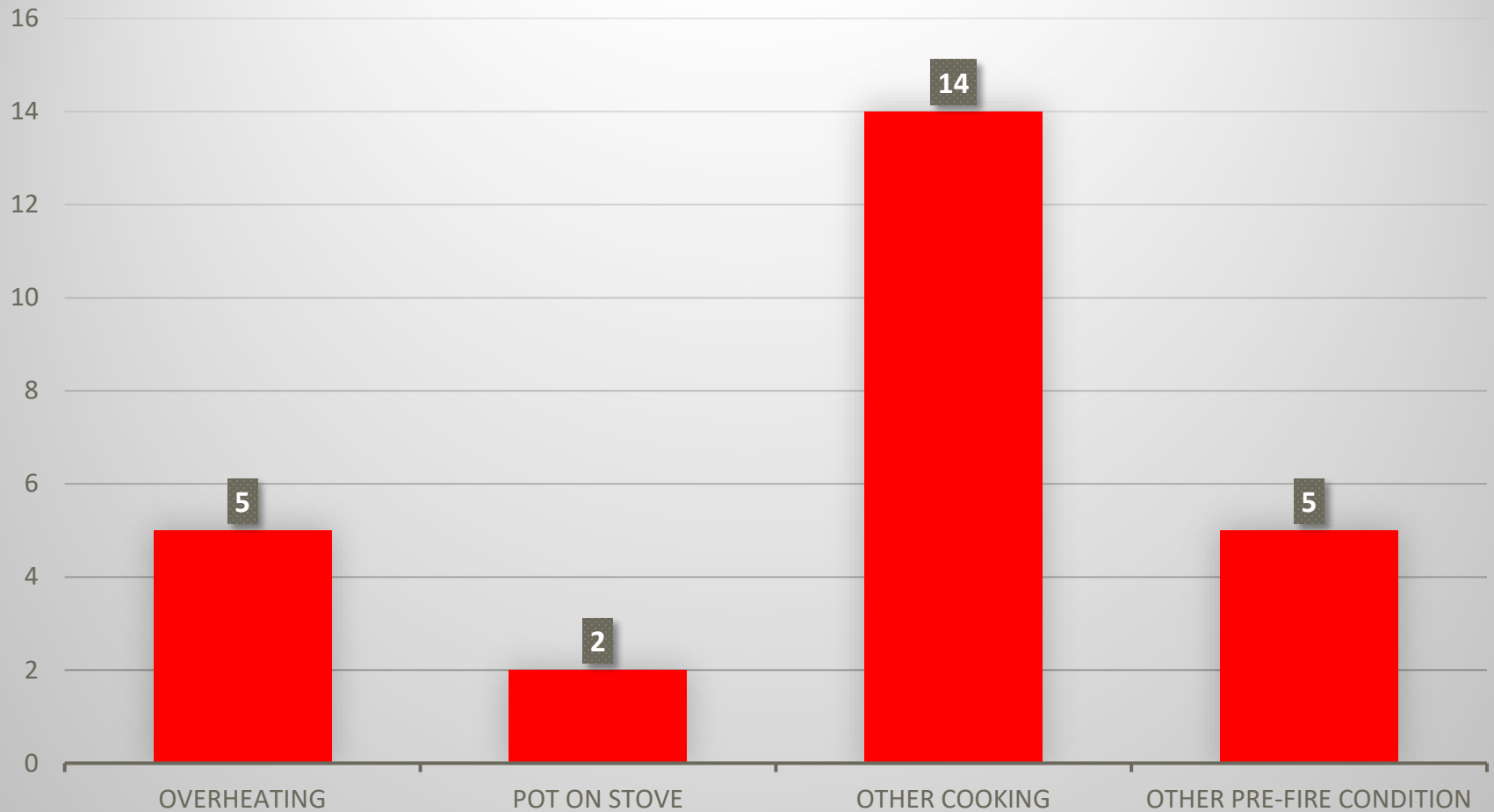
2024 Fire Department Responses



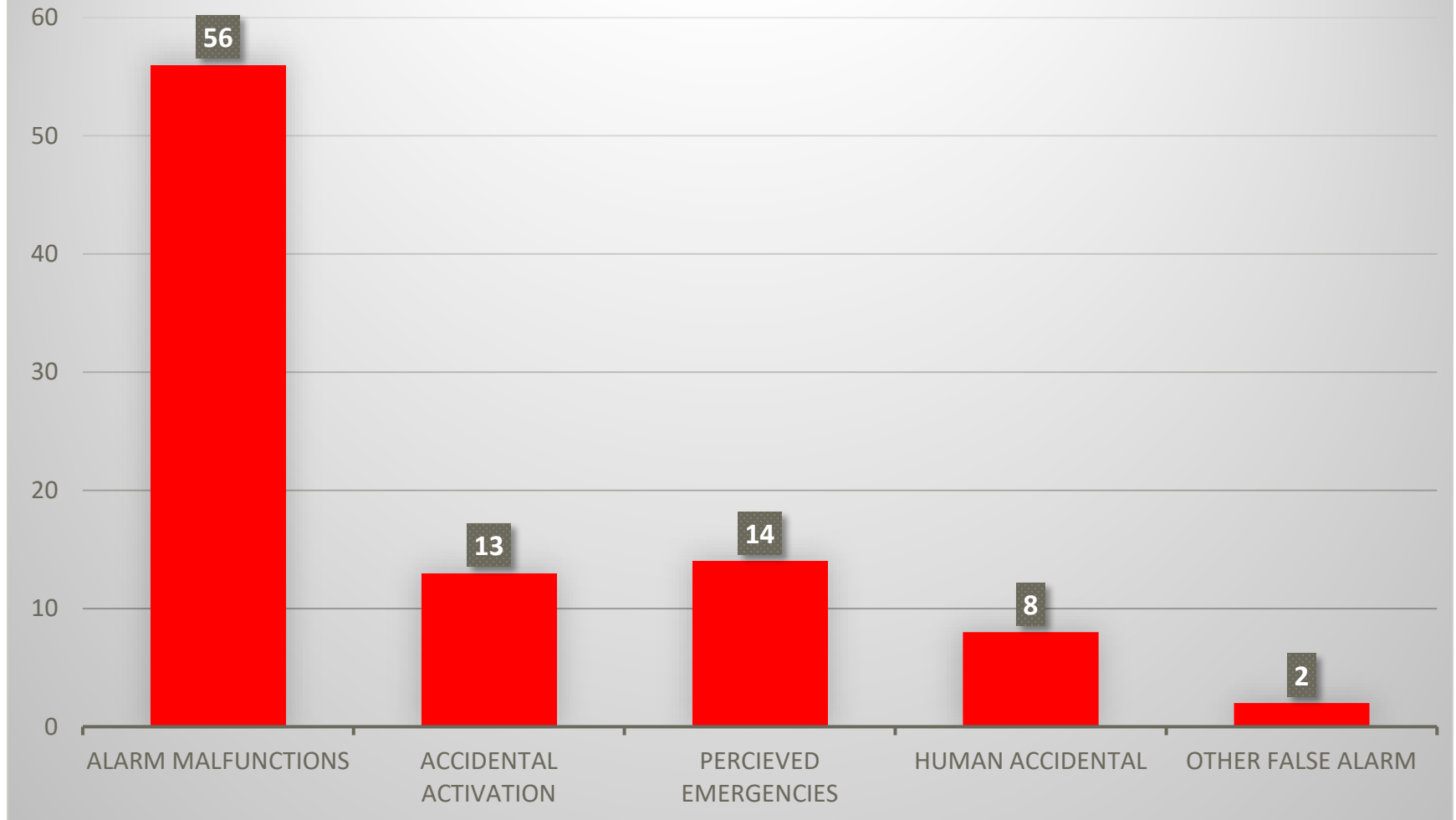
Fire Related Responses



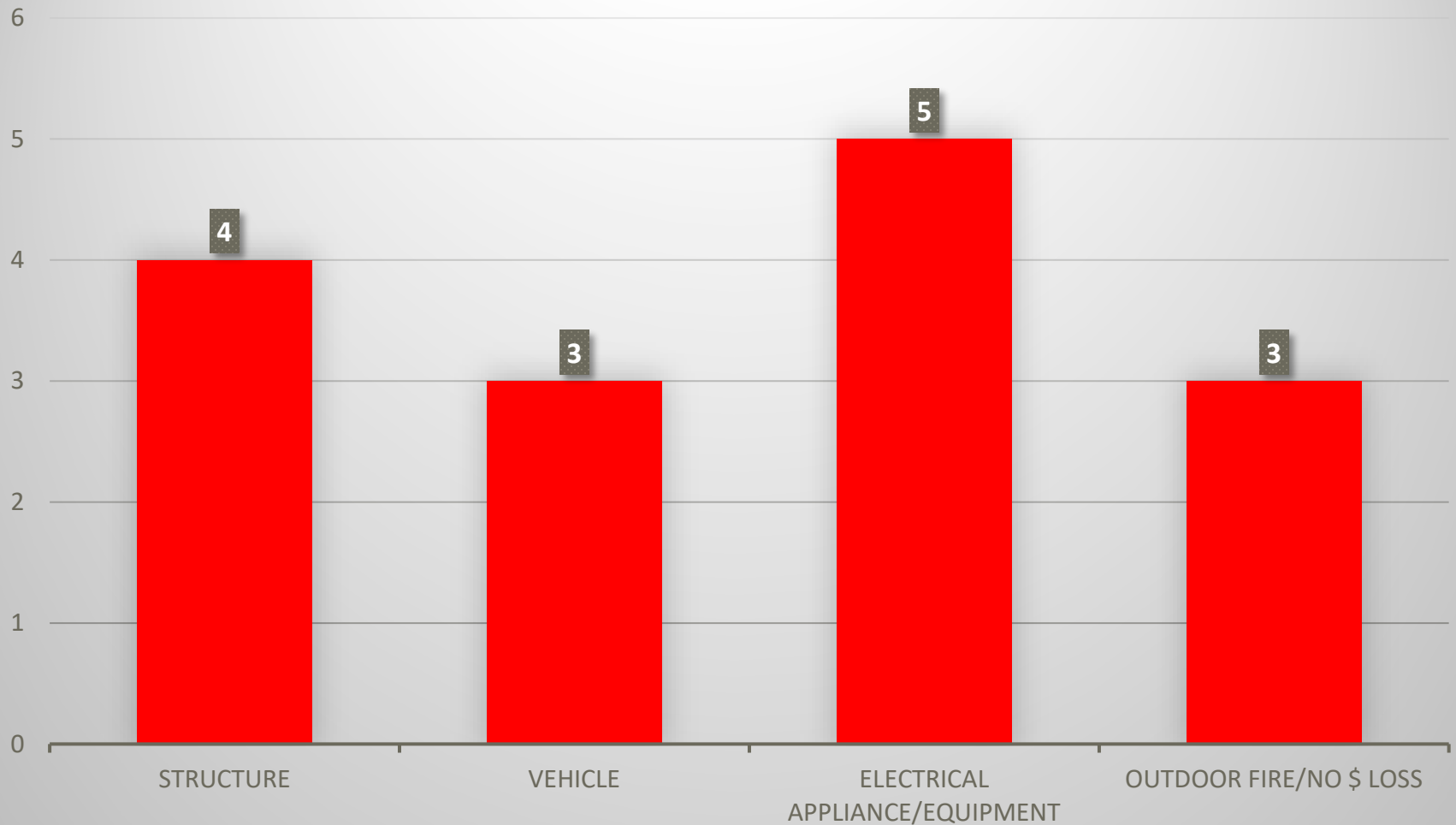
Pre-Fire Conditions



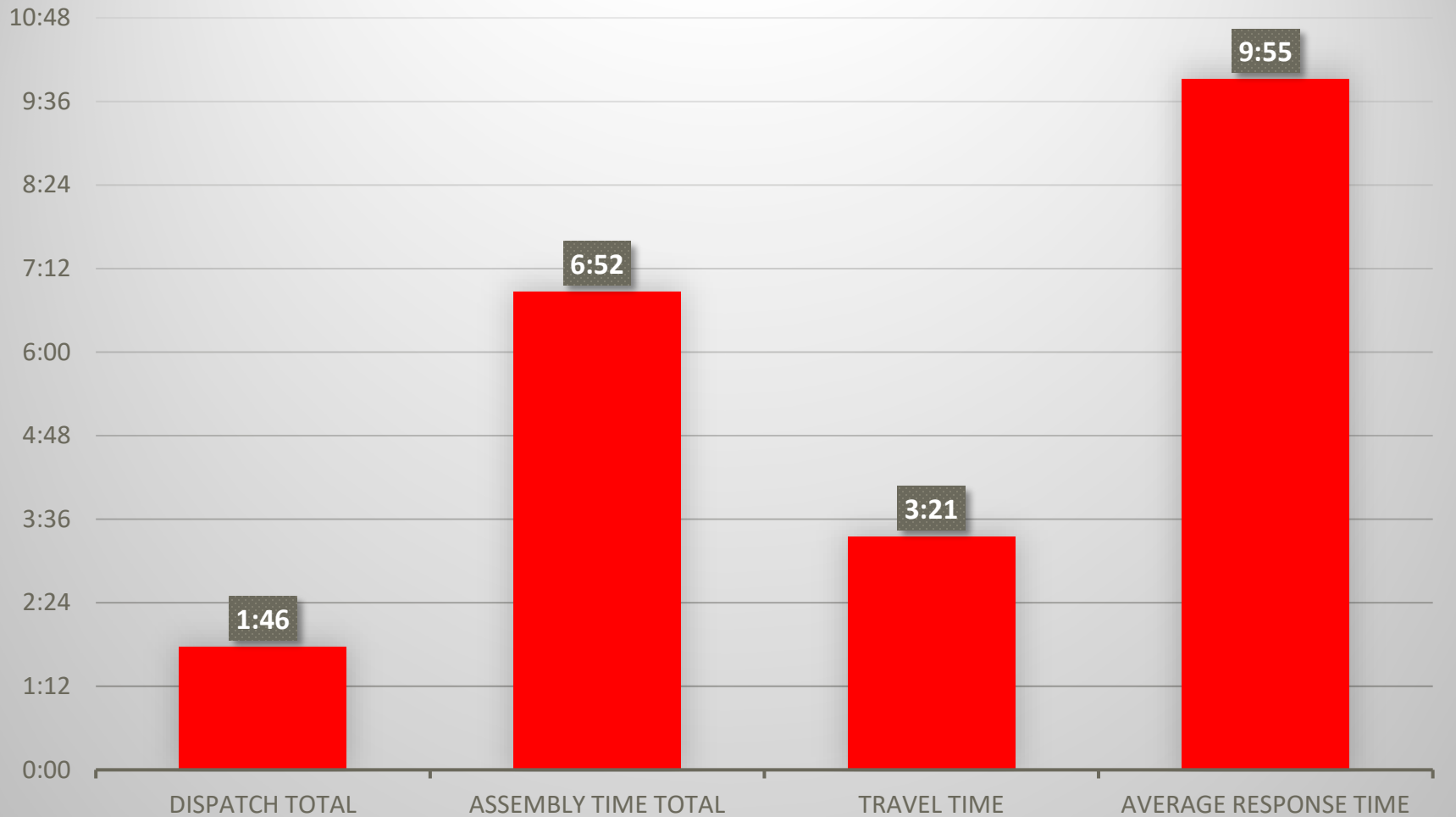
False Alarm Calls



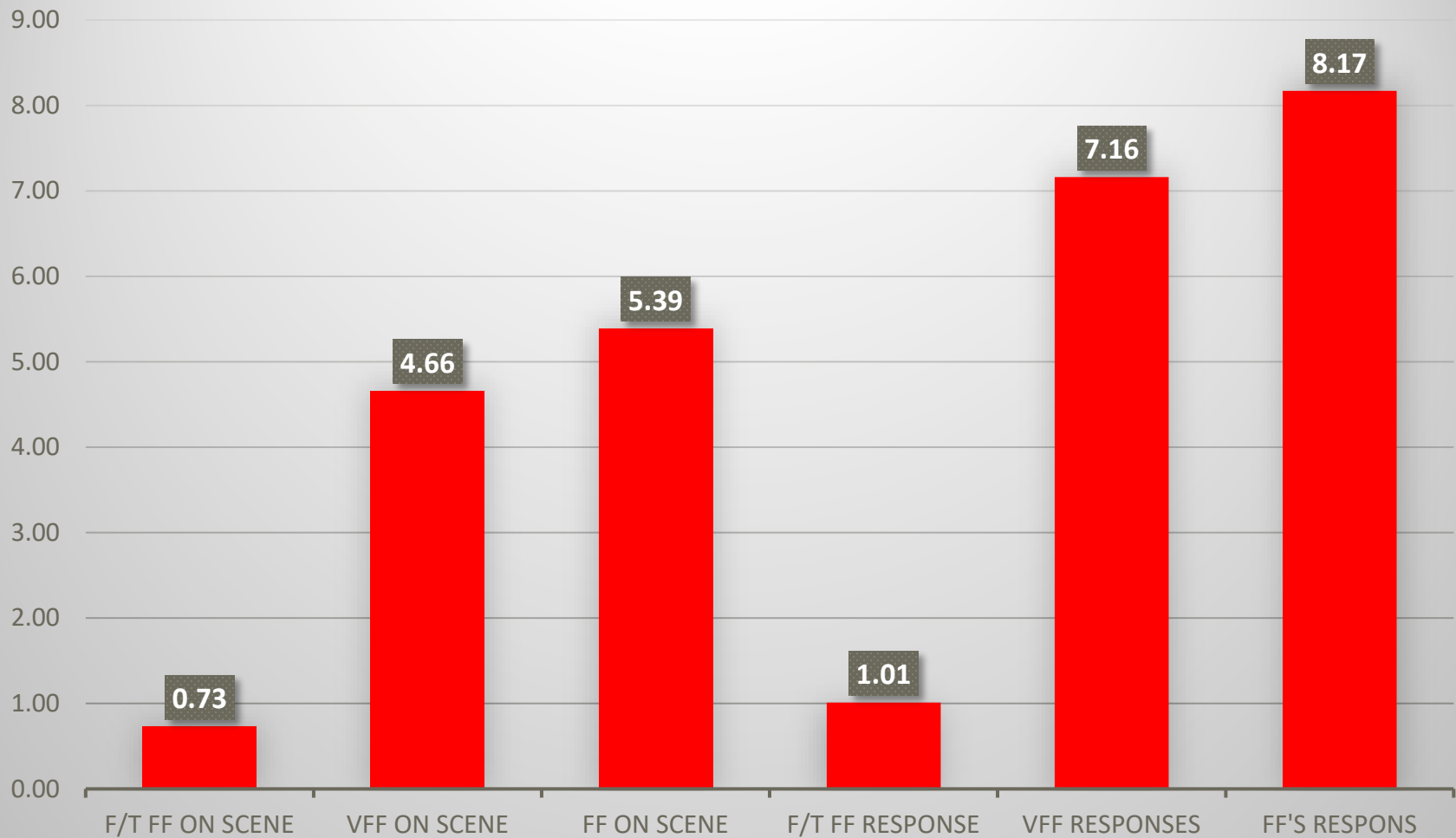
Types of Fires



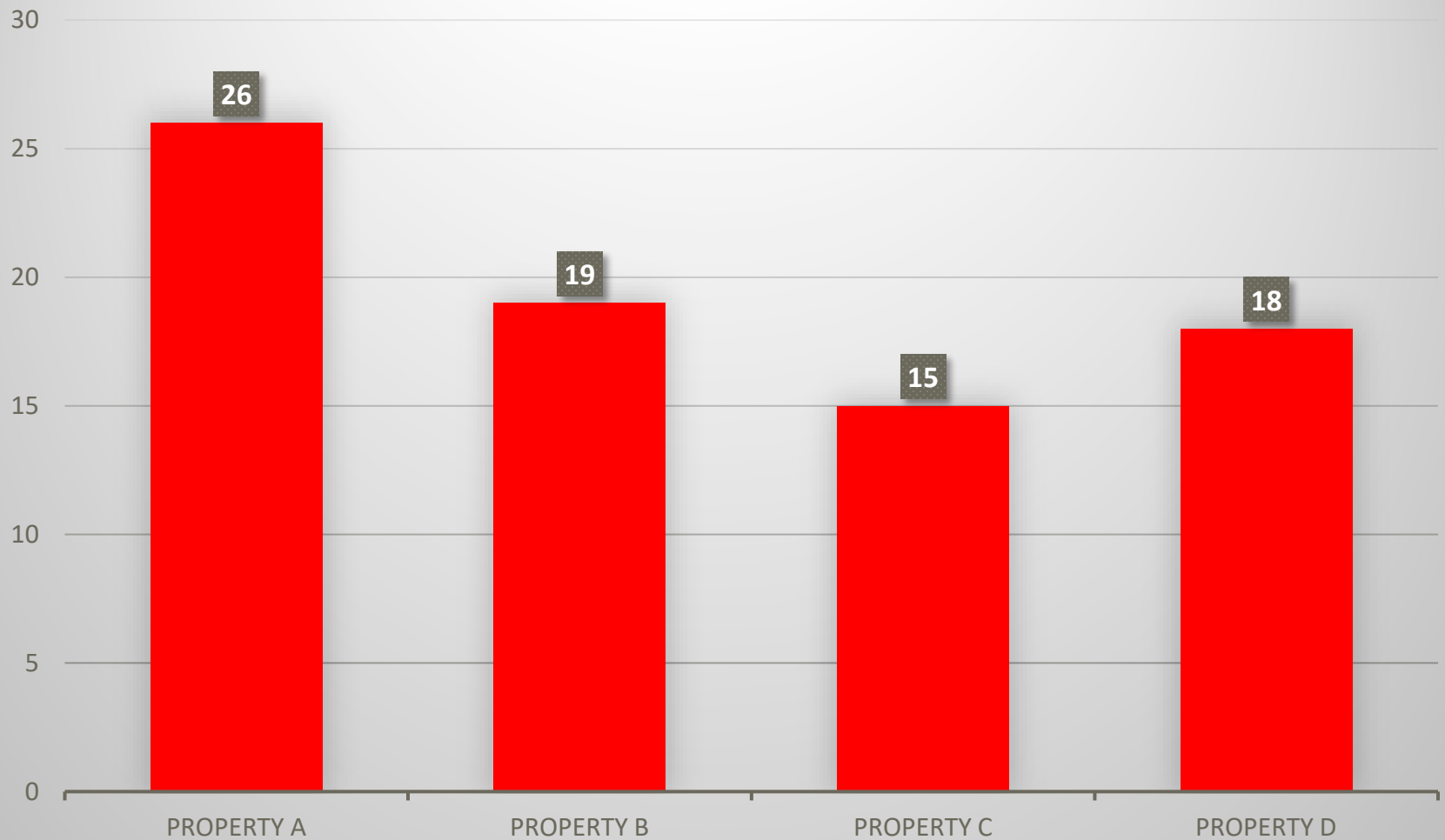
Response time Averages



Response Personnel Averages



Response to Structure Fires





2024 Fire Losses

- In 2024 four structure fires occurred within our community resulting in an estimated \$2,222,750 in dollar loss and sadly one fatality.
- A total of 8 additional fires occurred in the community that created various losses to property or vehicles resulting in the largest dollar loss seen in recent years.

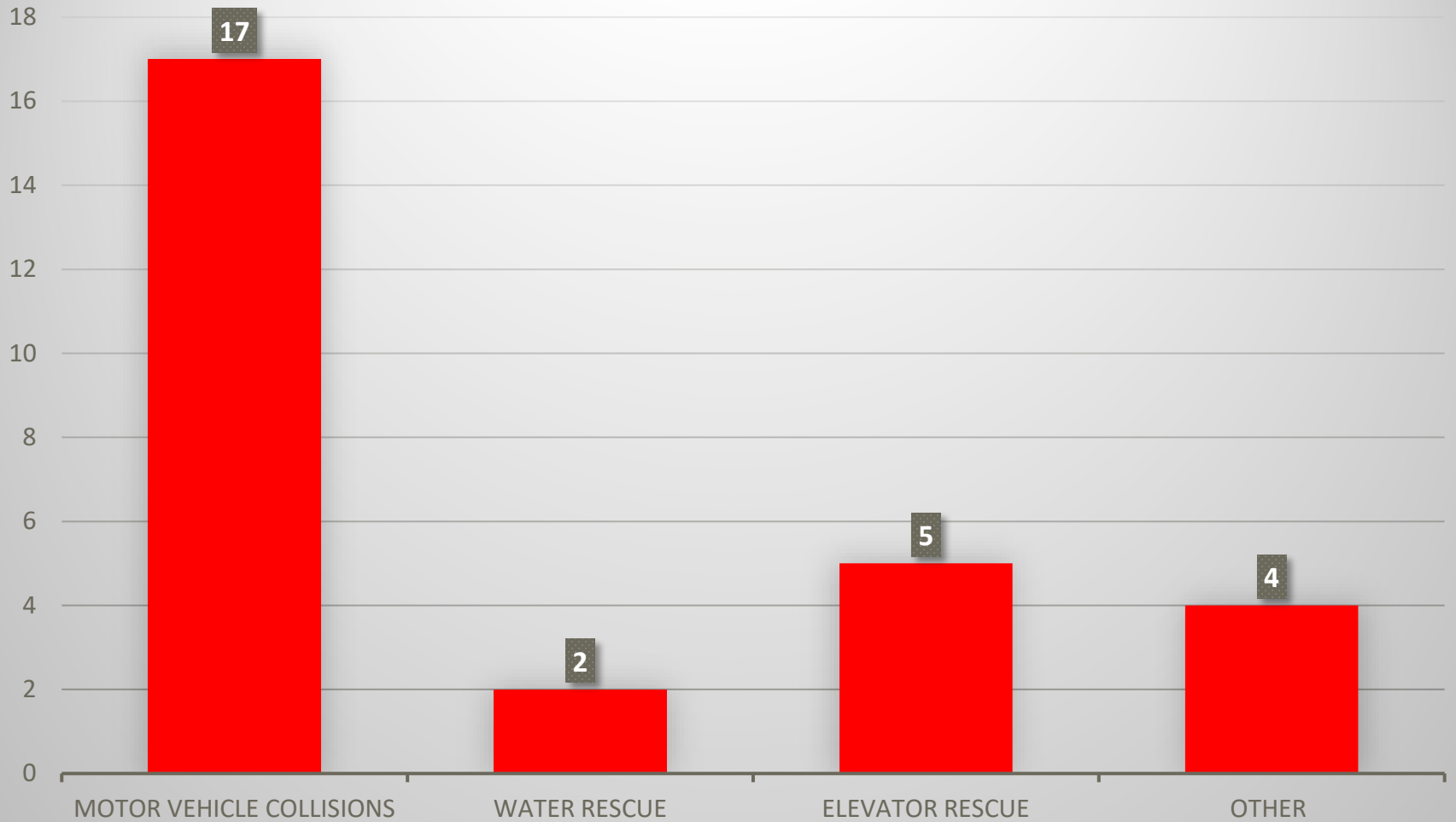
5 Year Estimated Fire Losses



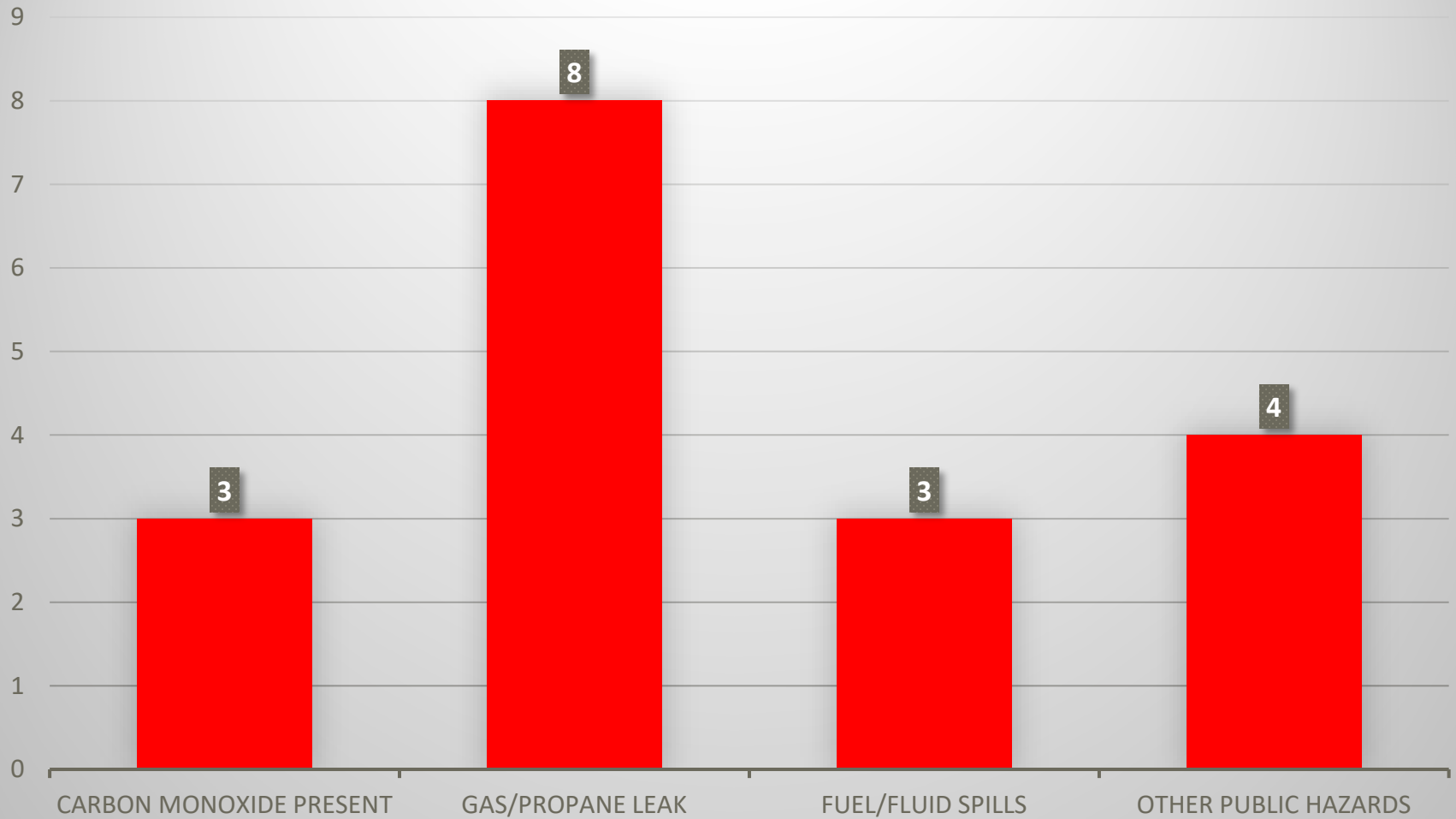
Open-air Burning

- 443 permits were issued outdoor recreational burning.
- This is a significant increase from 325 permits in the previous year.
- The introduction of the online Burn Permits has been well received by much of the public.
- Fire Dept. had a minimal number of complaints or issues regarding open-air burning.

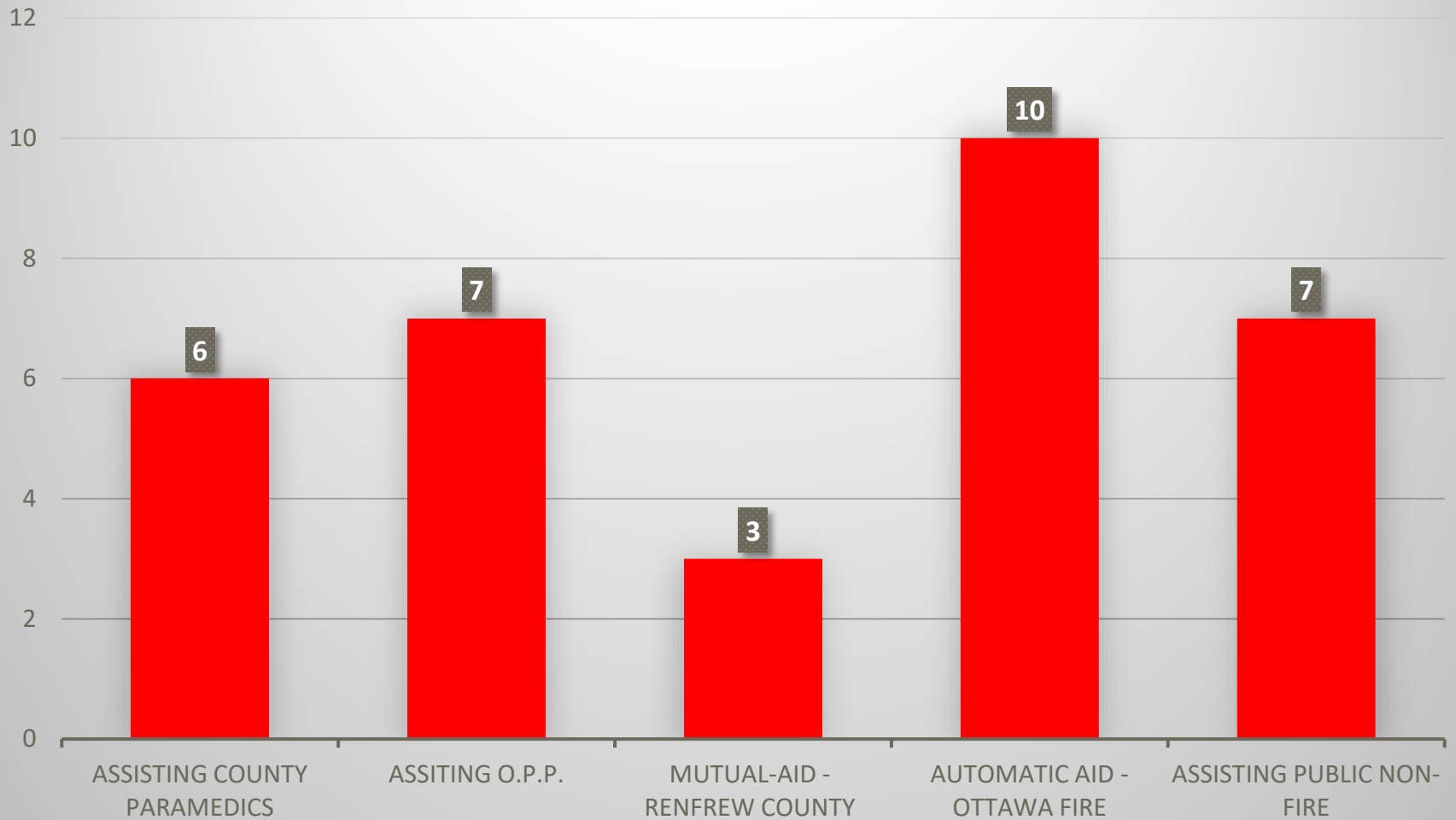
Rescue Related Services



Public Hazard Responses



Assistance to Other Agencies





Department Staffing

- In 2024 one 20-year member resigned and one 10-year member retired from the volunteer roster.
- The full-time Captain/FPPO resigned from their position.
- This position has been filled by an internal staffing appointment after a competition took place.



Department Staffing

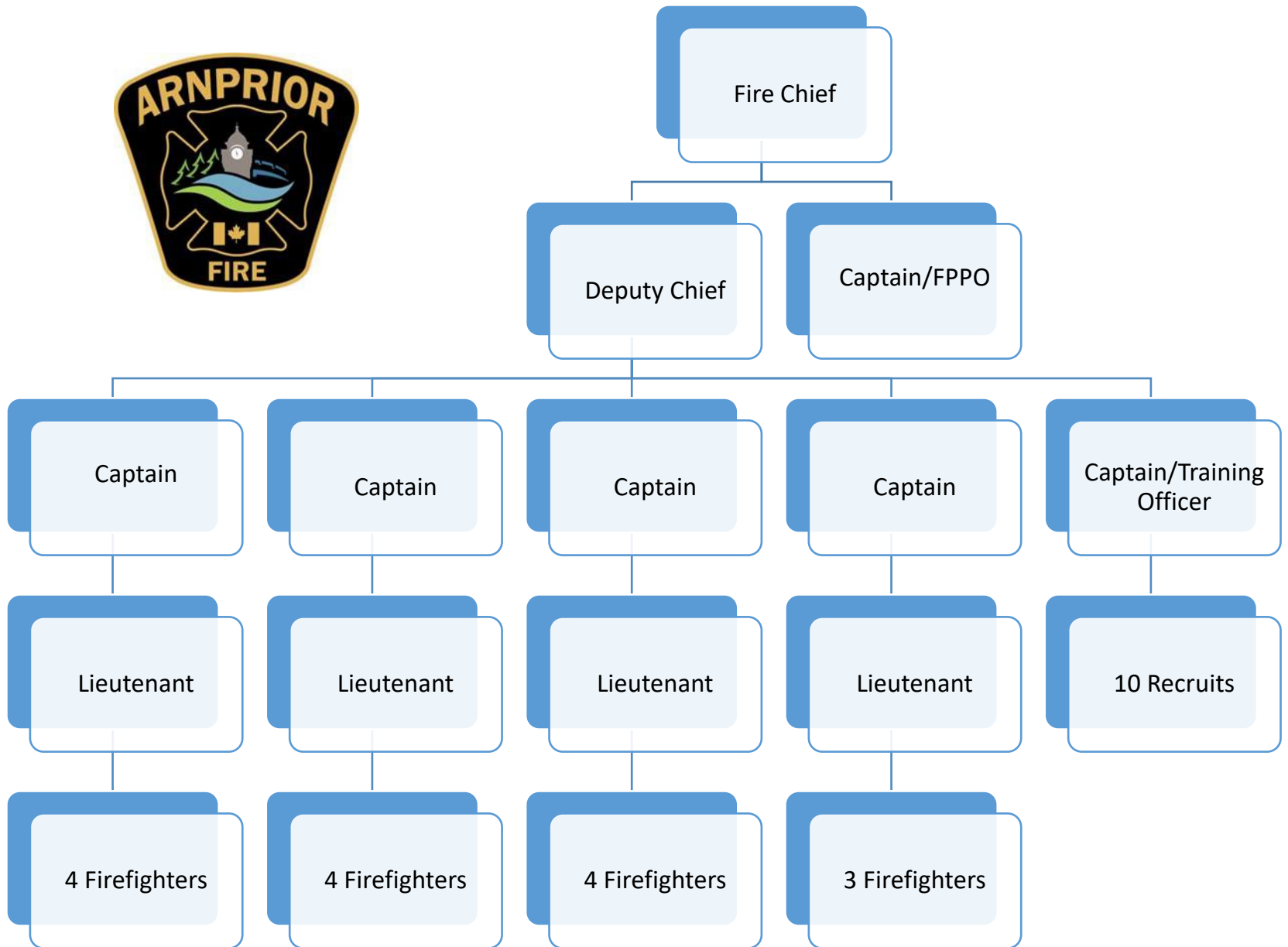
- At the end of 2024, the department was operating with 28 active volunteer members and 3 full time staff and one individual on medical leave.
- The process of recruitment for volunteer fire fighters began in December and was completed in early 2025 with 10 recruits being hired to join our dedicated team.





Department Staffing

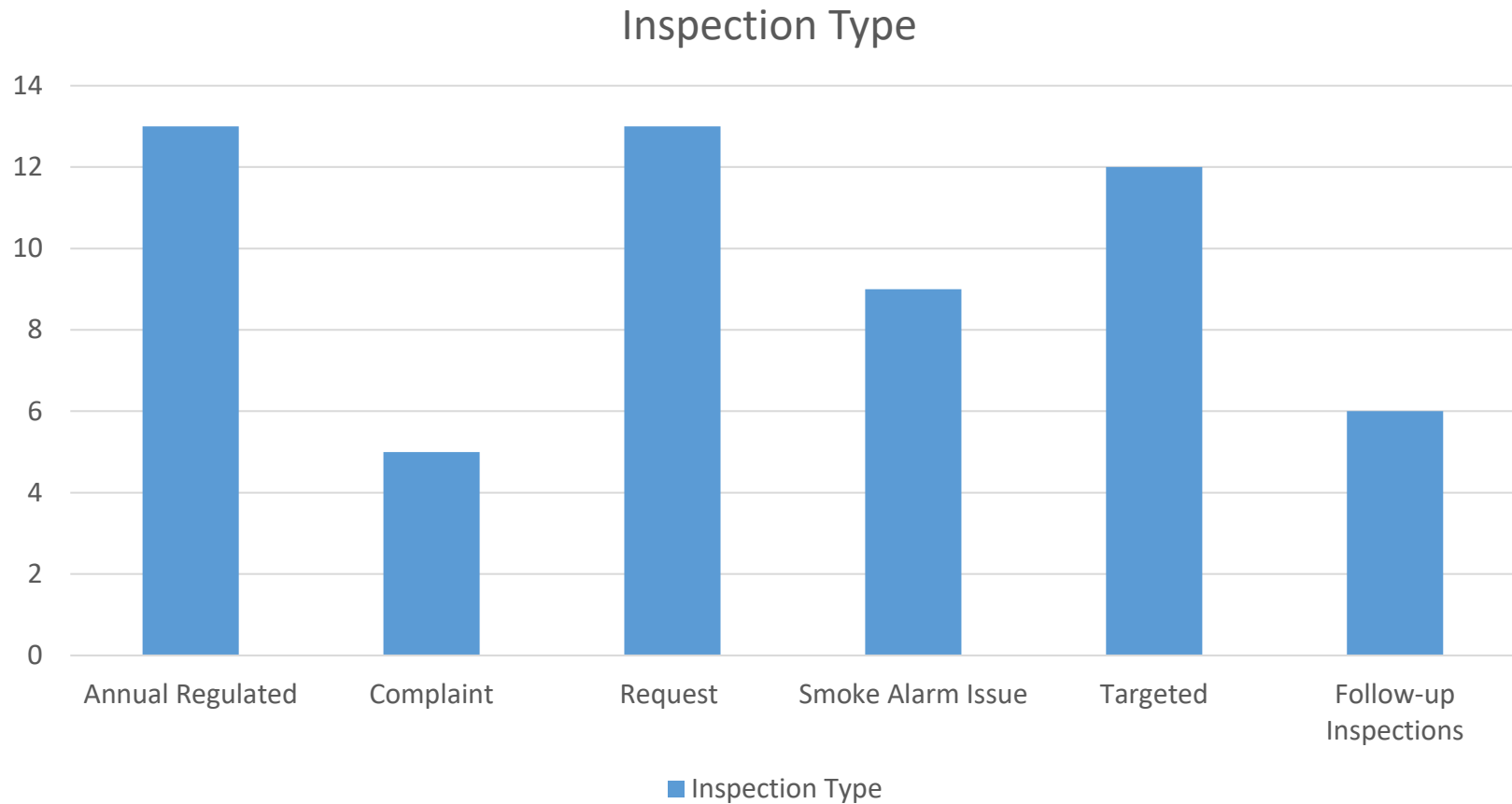
- 2025 has already seen the retirement of two senior members and the resignation of one 15-year and one 10-year Volunteer Firefighter from the Department.
- Another senior member has given notice of intent to retire on their upcoming May 1st anniversary.
- Current active staffing is at 3 FTE, 24 VFF and 10 new Recruits.



Fire Inspections

- In 2024 the Fire Prevention Office conducted 58 Fire Inspections within the municipality
- All inspections conducted were done so as per the requirements of the Fire Protection and Prevention Act,
 - Due to request or complaint;
 - Annually regulated requirement under the Ontario Fire Code; or
 - As per the Town's Fire Prevention Policy.

Inspection Reasons



Public Education



Public Education

- A total of 10 Public Education Sessions were conducted by the Fire Prevention Office and assisting volunteer members of the dept.
- The community once again participated in the Province's "Saved By the Beep" campaign On September 28th
- As well as our annual Prevention Week visits to all elementary schools. Each year this program provides Fire Safety Education to over 600 students from JK to Grade 3.

Public Education

- The addition of the new French Catholic school has seen the number of students being provided public education increase.
- The 2024 visit, its first by the fire department, for Public education was delivered to all students in that school.

Home Fire and Life Safety

- As part of the Home Fire and Life Safety program the department participated in the OFM and Provincial supported “Saved by the Beep” Campaign



Home Fire and Life Safety

- The Campaign started off with an Open House at the Stanley Tourangeau Fire/Police Center where visitors were provided education materials geared towards fire safety, working smoke alarms, and home escape planning.
- This was also an opportunity for members of the public of all ages to visit the fire station and interact with firefighters from their local fire department.





Home Fire and Life Safety

- The smoke alarm inspection portion of the Home Fire and Life Safety Program ran for a two-week period following the Open House.
- As was the case in 2024 rather than the door-to-door campaign individuals wanting or needing assistance were able to schedule an appointment either through an online scheduling system or by phoning the Fire Prevention office.
- Over the period staff attended 48 private dwellings to ensure proper function of alarms.

Fire Dept Training



Fire Dept Training

- The department completed total of 46 regular weekly training sessions in 2024.
- Regular training sessions are strictly focused on maintaining skills our firefighters require to deliver the core services approved by Council through the E&R By-law



Firefighter Certification

- To update you on our Firefighter Certification Requirements
- 11 members completed their final requirements to obtain their NFPA 1001 Firefighter II Certification.
- This required the successful completion of NFPA 1072 Hazmat Awareness and Technical Operations as well as NFPA 1002 Fire Apparatus Driver/Operator Certifications

Firefighter Certification

- Two members of our Officer Group successfully completed and received certification to NFPA 1021 Fire Officer Level 1.
- With these completions the department is now compliant with the requirements of O. Reg 343/22, with members being either Grandfathered, Ontario Legacy Certified, or NFPA Certified



Firefighter Certification

- All members of the Officers Group successfully completed a TSSA recognized Elevator Rescue Training course.
- This ensures proper supervision at calls for service related to elevator entrapments.

Fire Dept. Apparatus





Fire Dept. Apparatus

- We did not experience any major issues with apparatus this past year with the exception of the pump shaft seals requiring replacement on the 2006 Pumper/Tanker.
- This issue was discovered just before Christmas the apparatus was put into limited service and the problem was rectified in early January.



Fire Dept. Apparatus

- A 2025 Capital Project is in in motion to update the current duty vehicle.
- The tender to purchase the vehicle tender has been awarded to Reid Bros Motor Sales of Arnprior and the upfitting of the vehicle to support FD operation has been sourced out to Battlesheild Industries Inc. of Vars Ontario.

Fire Dept. Apparatus





Fire Dept. Apparatus





Fire Dept. Equipment

- In 2024 the Provincial Government announced a Fire Protection Grant worth \$30 M over the next 3 years to Municipal Fire Departments.
- The first \$10M installment began in the fall of 2024. The focus being on Cancer Prevention.
- We applied for funding to purchase a bunker gear dryer to compliment our current washer and a Fireground Decontamination Kit.
- We were successful in obtaining funding.

Fire Dept. Equipment



2025 Plans

- As indicated earlier the department recently held a recruitment. The recruitment resulted in the hiring of 10 new firefighters. These individuals are currently engaged in and will continue through the 4 stages of our in-house Recruitment Training Program.
- Under the requirements of O. Reg 343/22, municipalities have 2 years for newly hired firefighters to obtain their NFPA certification.



2025 Plans

- Half of the new group of Recruits have attended pre-service fire courses at various community colleges and or private corporations where they have already obtained their NFPA FF I and II Certifications.
- We will all work together to get the others prepared to meet the challenge of obtaining their required certifications.

2025 Plans

- Officer development is another focus of our training and is ongoing for 2025.
- We have obtained the services of an OAFC supported learning program entitled Effective Command.
- Two Officers have completed the program while Deputy Chief Nicholas has completed the trainer component to use the Effective Command learning portal and aid with in-house training of all Officers.

2025 Plans

- Review of the Dept. current Ice/Water Rescue Program.
- O. Reg 343/22, Firefighter Certification requires Firefighter performing Surface, Swift, and Ice Water Rescue Operations to be certified to NFPA 1006, “Standard for Technical Rescue Personnel Professional Qualification by July 1, 2028.
- A future report will be brought to Council for discussion and decision on this current Council approved Core Service.

Questions?



• WHERE THE RIVERS MEET •



Town of Arnprior Staff Report

Subject: Zoning By-law Amendment 2/25 – 87 Claude Street

Report Number: 25-04-14-01

Report Author and Position Title: Alix Jolicoeur, Manager of Community Services / Planner

Department: Community Services

Meeting Date: April 14, 2025

Recommendations:

That Council adopts a by-law to amend Zoning By-law 6875-18 to change the zoning of a portion of 87 Claude St. from Residential Two (R2) to Residential One (R1) in order to allow development of a single detached dwelling.

Further That Council has considered all written and oral submissions received on this application, the effect of which has helped Council make an informed decision.

Background:

Owner: Kevin Rampton c/o Michael Ferri

Legal Description: legally described as Plan 77 Lot 22 Part of Lot 21; and Parts 1 and 2 on Plan 49R-11313, Arnprior Ontario

Area of Land: 0.2052 ha (2,052 sq. m.)

Existing Structures: vacant

Official Plan: Established Residential Area

Zoning: Residential Two (R2) and Residential One (R1)

An application for Zoning By-law amendment was received to change the zoning of the subject property from Residential Two (R2) to Residential One (R1) in order to allow development of a single detached dwelling.

Context

The subject lands are located on the east side of Claude Street with frontage on the Madawaska River.



Figure 1 Streetview of the subject lands

North-east of the subject property are 91 and 93 Claude St. 91 Claude St. is a vacant lot zoned Residential One and 93 Claude St is an existing single detached dwelling (see Figure 2).



Figure 2 Streetview of 91 and 93 Claude St.

On the other side of Claude St. (north/north-west) are 82, 84, and 90 Claude St. (see Figure 3). 82 and 90 Claude St are existing single detached dwellings. 84 Claude St is an existing two-storey four-unit residential building.

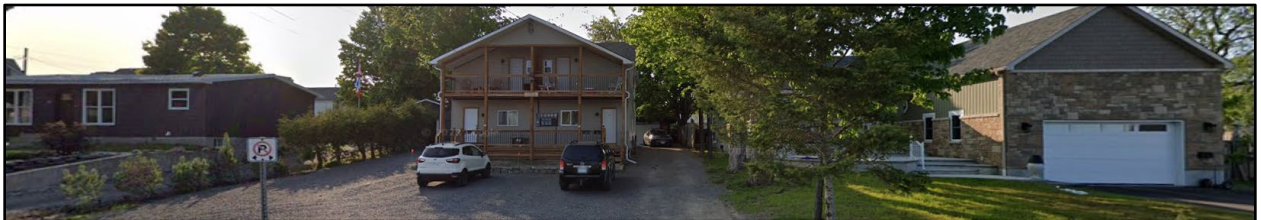


Figure 3 Streetview of 82, 84 and 90 Claude St.

West/south-west of the subject property are 81 and 83 Claude St. and 74 McGonigal St. E. 81, and 83 Claude St. are an existing two-unit dwelling (see Figure 4). 74 McGonigal St. E. is an existing single-detached dwelling (see Figure 5).



Figure 4 Streetview of 81 and 83 Claude St.



Figure 5 Streetview of 74 McGonigal St. E.

Figure 6 is an aerial photograph of the area from 2020.



Figure 6 Aerial photo from 2020 of the subject and surrounding lands

Discussion:

Provincial Planning Statement, 2024

The Provincial Policy Statement, 2024 section 2.2.1. requires planning authorities to “provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by...permitting and facilitating all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units... [and] promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities and supports the use of active transportation.”

The proposed single-detached dwelling would allow for a housing option that meets the needs of current and future residents. Additionally, the Residential One zoning requested could allow a single dwelling (single-detached dwelling) or up to 6 dwelling units in the form of a semi-detached dwelling with 2 additional dwelling units per semi-detached.

Official Plan Policies

The subject property is designated Established Residential Area.

The objectives of the Established Residential Area designation are to:

- a) “Recognize, maintain, and protect the character and identity of existing low density residential neighbourhoods and plans of subdivision;
- b) Recognize existing medium and high density developments that have already occurred and allow for their completion and redevelopment as appropriate;
- c) Provide for new development/redevelopment on existing lots in a manner that maintains and protects the existing neighbourhood character;
- d) Provide for modest intensification in the form of townhouses and apartment dwellings in appropriate locations; and,
- e) Provide for alterations to existing residential uses in a manner that maintains and protects the existing neighbourhood character.”

Permitted uses in the Established Residential Area designation include single-detached dwellings, semi-detached dwellings, townhouse dwellings, low-rise apartment buildings (maximum height 3 storeys), additional dwelling units, garden suites, home based businesses, bed and breakfast, day nurseries and local institutional uses.

Section C1.4.4 sets out guidelines for construction of new single-detached and semi-detached dwellings. The applicable policies are:

- a) “The front yard setback for the new homes is generally consistent with the front yards that exist on the same side of the street;

- b) The height of the new homes do not exceed two storeys, unless the homes on either side are higher than two storeys;
- c) The depth of the new home provides for a generously sized rear yard amenity area and minimizes the potential impacts of the new home on the enjoyment of adjacent rear yards; and,
- d) Existing trees and vegetation will be retained and enhanced where possible and additional landscaping will be provided to minimize the impacts of the new home on the enjoyment of adjacent lots."

In the opinion of staff, the proposed zoning by-law amendment is consistent with the applicable Official Plan policies. A single-detached dwelling is a permitted use in the Established Residential Area designation and could meet applicable guidelines for construction of a new single-detached dwelling.

Zoning By-law Provisions

The current zoning of the land is Residential One (R1) and Residential Two (R2). The area near the river is zoned Residential One (R1) and the area near Claude St is zoned Residential Two (see Figure 7). The proposed building envelope is within the area of the lot zoned Residential Two (R2).

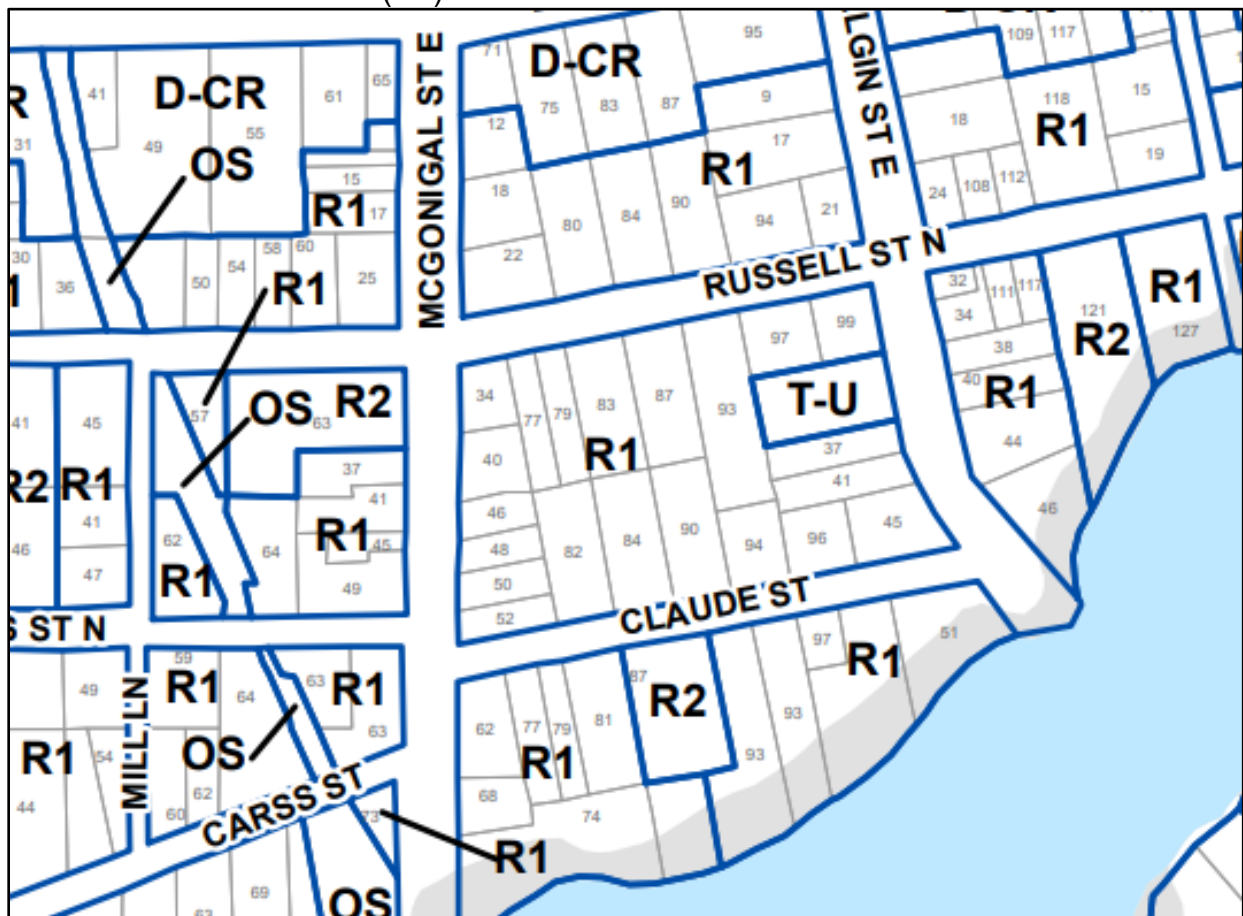


Figure 7 Zoning of the subject and surrounding properties

The Residential Two zone permits the following uses:

- Townhouse dwelling
- Apartment dwelling
- Triplex dwelling
- Multiple dwelling
- Additional dwelling unit
- Home business
- Bed and breakfast establishment
- Child care center
- Home child care

The requested amendment is to change the zoning to Residential One (R1). The following uses are permitted in the Residential One zone:

- Single-detached dwelling
- Semi-detached dwelling
- Duplex dwelling
- Additional dwelling unit
- Home business
- Bed and breakfast establishment
- Child care center
- Home child care

The proposed site plan sketch (see document 2) shows that all applicable setbacks and provisions of the Residential One zone could be met by a proposed single-detached dwelling. Future development of the site for a detached dwelling may differ; the sketch provided was to demonstrate that all applicable setbacks could be met.

In the opinion of staff, the Residential One zoning requested is more consistent with the character of the existing neighborhood and would allow for more compatible forms of development than the current Residential Two zone.

Process

March 24, 2025 – Council authorized holding the statutory public meeting April 14, 2025, with consideration of the application and decision to follow

April 14, 2025 – Public meeting on the application, and the application and recommendation of staff is brought to council for consideration and a decision. Following a decision of Council, notice of the decision is issued within 15 business days and is followed by a 20-day appeal period.

Options:

1. Refuse the requested zoning by-law amendment in full. This is not recommended by staff.

Policy Considerations:

As outlined above.

Financial Considerations:

Not applicable.

Meeting Dates:

March 24, 2025 – Council authorized holding the statutory public meeting April 14, 2025, with consideration of the application and decision to follow

April 14, 2025 – Public meeting on the application and the application and recommendation of staff is brought to council for consideration and a decision.

Consultation:

The zoning by-law amendment application was circulated to the County of Renfrew, Renfrew County District School Board, Renfrew County Catholic District School Board, Conseil des Ecole Catholique centre-est, Enbridge Gas, Ontario Power Generation, Hydro One Networks Inc., McNab/Braeside, City of Ottawa, Ministry of Municipal Affairs and Housing, Arnprior Fire Chief, Arnprior Chief Building Official, General Manager of Operations, and CAO for comment.

Comments received:

Enbridge Gas

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.

Please always call before you dig, see web link for additional details:

<https://www.enbridgegas.com/-/media/Extranet-Pages/Safety/Dig-safety-for-contractors/faqs.pdf?rev=3d3a2ccd7027463c89a953133aad4e4>

Documents:

1. Key Plan
2. Site Plan

Signatures

Reviewed by Department Head: Alix Jolicoeur

Reviewed by General Manager, Client Services/Treasurer: Jennifer Morawiec

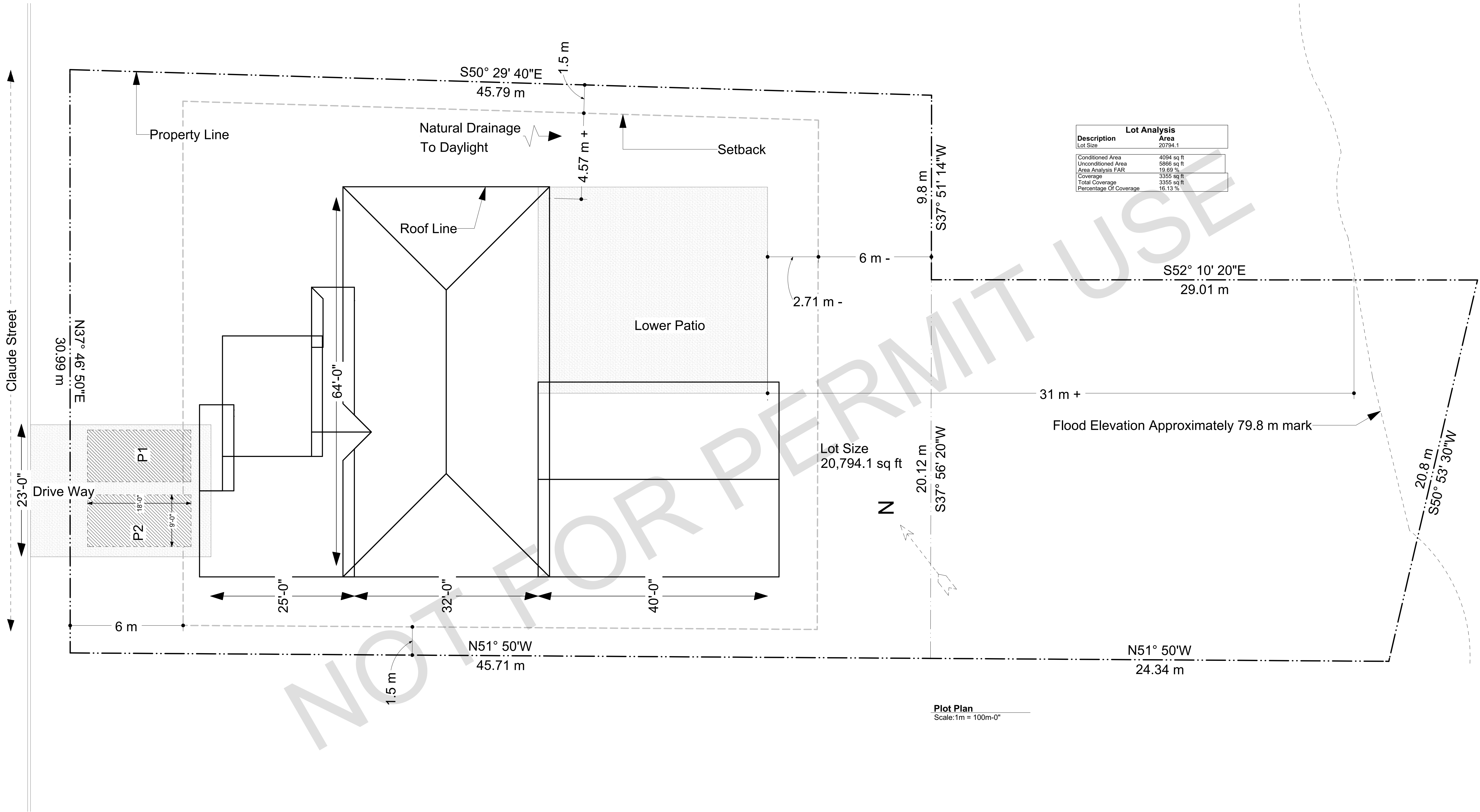
CAO Concurrence: Robin Paquette

Workflow Certified by Town Clerk: Kaila Zamojski

Document 1 – Key Plan



Document 2 – Site Plan



REVISION HISTORY			
REV	DATE	BY	DESCRIPTION

Home Owner/Designer: Michael Ferri Cell:(416) 312-7568 Claude Street Arnprior Ontario,	Sheet Title: Site Plan	Plan Scale: 1M =100M
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A-1



Town of Arnprior Staff Report

Subject: Zoning By-law Amendment 4/25 – Marshall's Bay Meadows Phase 5A & 5B

Report Number: 25-04-14-02

Report Author and Position Title: Alix Jolicoeur, Manager of Community Services / Planner

Department: Community Services

Meeting Date: April 14, 2025

Recommendations:

That Council receives an application for an amendment to Zoning By-law 6875-18 for part of the land legally described as McNab Concession C, Part of Lot 1; Concession D Part of Lot 1; Part Road Allowance, Registered Plan 49R-19293 Part of Part 1, Arnprior Ontario, to reduce the minimum required lot frontage for a single-detached dwelling from 12.0 m to 10.0 m.

Further That pursuant to Section 34(12) of the Planning Act, Council holds a public meeting on May 12th, 2025, regarding the proposed amendment, to allow for public review and comment.

Background:

Owner: Marshall's Bay Regional Inc.

Legal Description: legally described as McNab Concession C, Part of Lot 1; Concession D Part of Lot 1; Part Road Allowance, Registered Plan 49R-19293 Part of Part 1, Arnprior

Area of Land: 7.32 ha

Existing Structures: vacant

Official Plan: Low/Medium Density Residential Area

Zoning: Residential Three (R3) and Residential Three Exception 41 (R3*41)

An application for Zoning By-law amendment was received to reduce the minimum required lot frontage for single-detached dwellings from 12.0 m to 10.0 m in order to allow the development of single-detached dwellings on narrower lots within Phases 5A and 5B of the Marshall's Bay subdivision.

The proposed development is subject to subdivision application No. 47-T-14002.

The subdivision has received previous approvals from the Town of Arnprior and County of Renfrew. An Official Plan Amendment was approved by the Town of Arnprior in June 2013 that re-designated the lands to permit residential and commercial development, followed by a Draft Plan of Subdivision that was approved by the Town and County in August 2015. A revised Draft Plan of Subdivision was approved on December 11, 2018, with implementing Zoning By-law amendments adopted by Council on April 23, 2019 for Phase 1 of the Subdivision; March 31, 2021 for Phase 2; and December 13, 2021 for Phases 3, 4A and 4B. A Zoning By-law Amendment was approved October 10, 2023 for Phase 4B, 5A, and 5B. Phases 1 through 4A of the subdivision have been registered.

Context

The subject lands are part of Phases 5A and 5B of the Marshall's Bay Meadows Subdivision. Document 2 shows the subdivision Phasing Plan submitted with the application.

Figure 1 is an aerial photograph of the area from 2020.



Figure 1 Aerial photo from 2020 of the subject and surrounding lands

Draft Plan of Subdivision Revision

The proposed revision to the Draft Plan of Subdivision (see Document 2: Revised Subdivision Concept Plan with Phasing) is to accommodate a revised lotting pattern and

unit count as a result of the Zoning By-law Amendment application. The units on the south side of Rudd Lane were previously proposed as semi-detached dwelling units. These lots are now proposed as single detached dwelling units, some on narrower lots. The switch to single-detached dwellings together with the narrow minimum lot frontage as requested would result in a net increase of three residential units. Additional units are being accommodated within Phases 5A and B under the current zoning by narrowing townhouse units while still meeting all applicable zoning requirements.

These changes allow an overall increase of units from 533 residential units to 542 units.

The revised subdivision lotting would consist of:

- 130 single detached dwellings;
- 52 semi-detached dwellings;
- 186 street townhouse dwellings;
- 54 back-to-back townhouse dwellings (to be part of a subsequent Site Plan application);
- 120 apartment dwellings;
- 2 blocks for community parks;
- 1 block for commercial uses; and
- 2 blocks for servicing and stormwater management

The layout of the Revised Draft Plan of Subdivision maintains most aspects from the original draft plan approval. The road pattern proposed has not been altered from the original draft plan approval and the total proposed road frontages have not changed. Similarly, the two proposed park blocks are consistent with the original draft plan approval with respect to location and park sizes. The commercial block was registered with Phase 1 of the Subdivision and is not proposed to be altered. Revisions that have been made to the approved Draft Plan of Subdivision are strictly to lotting and the redistribution of unit types.

The County of Renfrew has determined that red line changes to the approved draft plan of subdivision are not required for the changes to lotting proposed as it is considered minor in nature.

Discussion:

Provincial Planning Statement, 2024

The Provincial Policy Statement, 2024 section 2.2.1. requires planning authorities to “provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by...permitting and facilitating all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units... [and] promoting densities for new housing

which efficiently use land, resources, infrastructure and public service facilities and supports the use of active transportation.”

Official Plan Policies

The subject property is designated Low/Medium Density Residential Area in the Town of Arnprior Official Plan.

The subject property is designated Low/Medium Density Residential Area.

The objectives of the Low/Medium Density Residential Area designation are to:

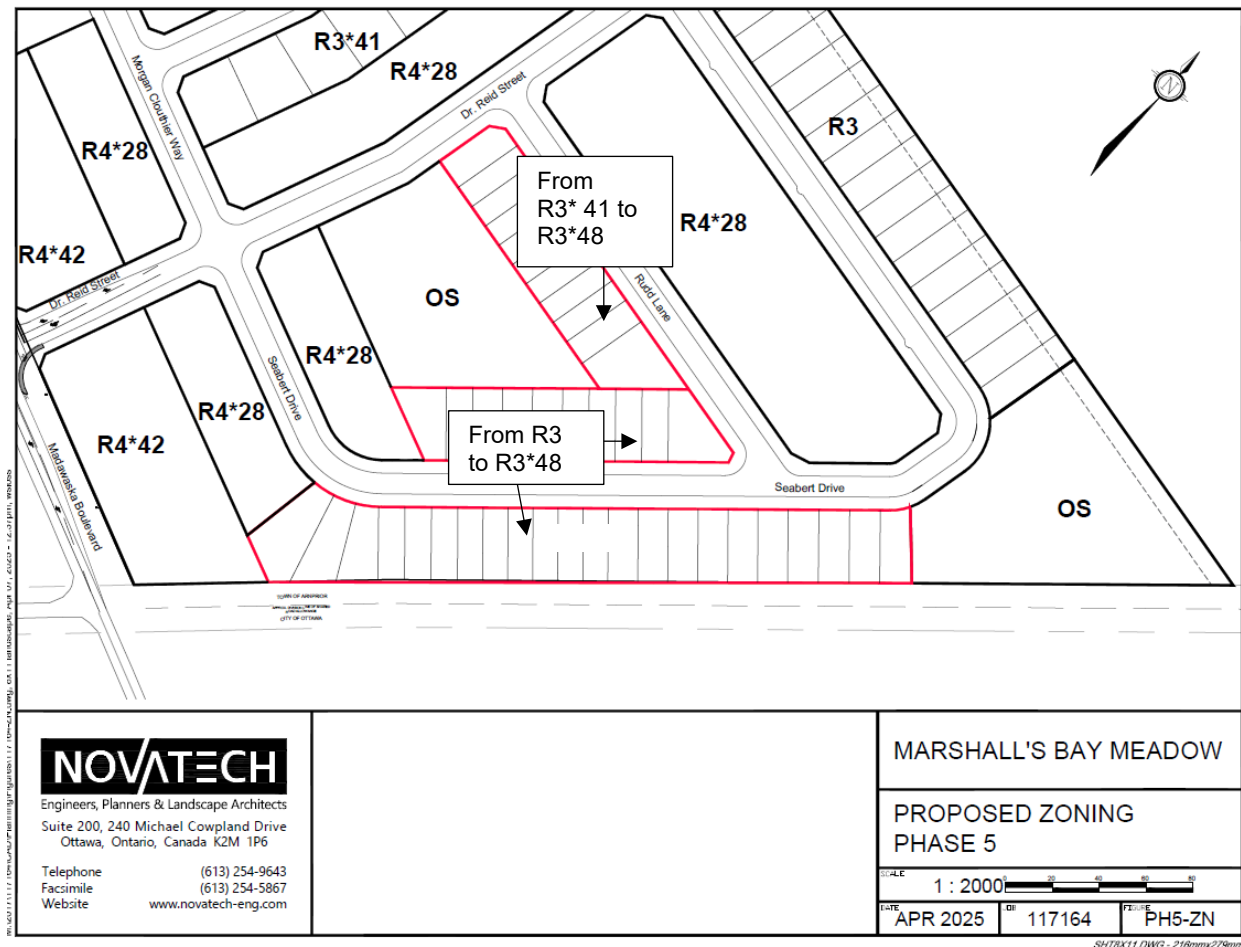
- a) Provide for new housing opportunities to meet the Town’s projected housing needs;
- b) Provide for a range of housing types and forms to ensure accessible, affordable, adequate, and appropriate housing for all socio-economic groups;
- c) Achieve more compact forms of residential development in a manner that is compatible with the character and pattern of adjacent surrounding development;
- d) Ensure that new residential areas permit a variety of complementary and compatible land uses, including community facilities, open space areas; and,
- e) Establish a comprehensive set of design guidelines and policies for new residential development that fosters the establishment of an urban environment that is safe, functional, sustainable, and attractive.”

Permitted uses in the Low/Medium Density Residential Area designation include single-detached dwellings, semi-detached dwellings, townhouse dwellings, low-rise apartment buildings (maximum height 6 storeys), additional dwelling units, home based businesses, bed and breakfast, day nurseries and local institutional uses.

Zoning By-law Provisions

The current zoning of the land is Residential Three (R3) and Residential Three Exception 41 (R3*41)

The proposed zoning by-law amendment is shown in the zoning sketch below.



Exception 41 states that all uses in the R3 zone are “Exempt from Section in 6.4.3g) of the By-law which requires that individual driveways accessing the two semi-detached dwellings be paired.”

The zoning by-law amendment application is to request the minimum lot frontage for a single-detached dwelling be reduced from 12.0 m to 10.0 m. All other setbacks and applicable provisions would remain unchanged.

Site plans for the narrower single-detached lots have been provided demonstrating all applicable setbacks, height provisions and parking requirements would be met. Actual development of the lots may differ from the conceptual site plans provided.

Process

April 14, 2025 – Council requested to authorize holding the statutory public meeting

May 12, 2025 – Public meeting on the application

May 26, 2025 – Decision on the application by Council. Should Council pass the

amending by-law or refuse to pass the by-law, a 20-day appeal period to the Ontario Land Tribunal will apply.

Options:

1. Refuse the requested zoning by-law amendments in full without going to public meeting. This is not recommended by staff.

Policy Considerations:

As outlined above.

Financial Considerations:

Not applicable.

Meeting Dates:

1. April 14, 2025 – Council requested to authorize holding the statutory public meeting May 12, 2025
2. May 12, 2025 – Public meeting on the application
3. May 26, 2025 – Decision on the application by Council.

Consultation:

The zoning by-law amendment application will be circulated to the County of Renfrew, Renfrew County District School Board, Renfrew County Catholic District School Board, Conseil des Ecole Catholique centre-est, Enbridge Gas, Ontario Power Generation, Hydro One Networks Inc., McNab/Braeside, City of Ottawa, Ministry of Municipal Affairs and Housing, Arnprior Fire Chief, Arnprior Chief Building Official, General Manager of Operations, and CAO for comment.

No comments have been received to date.

Documents:

1. Key Plan
2. Zoning sketch
3. Revised Subdivision Concept Plan with Phasing
4. Conceptual site plans
5. Planning Rationale submitted by the applicant

Signatures

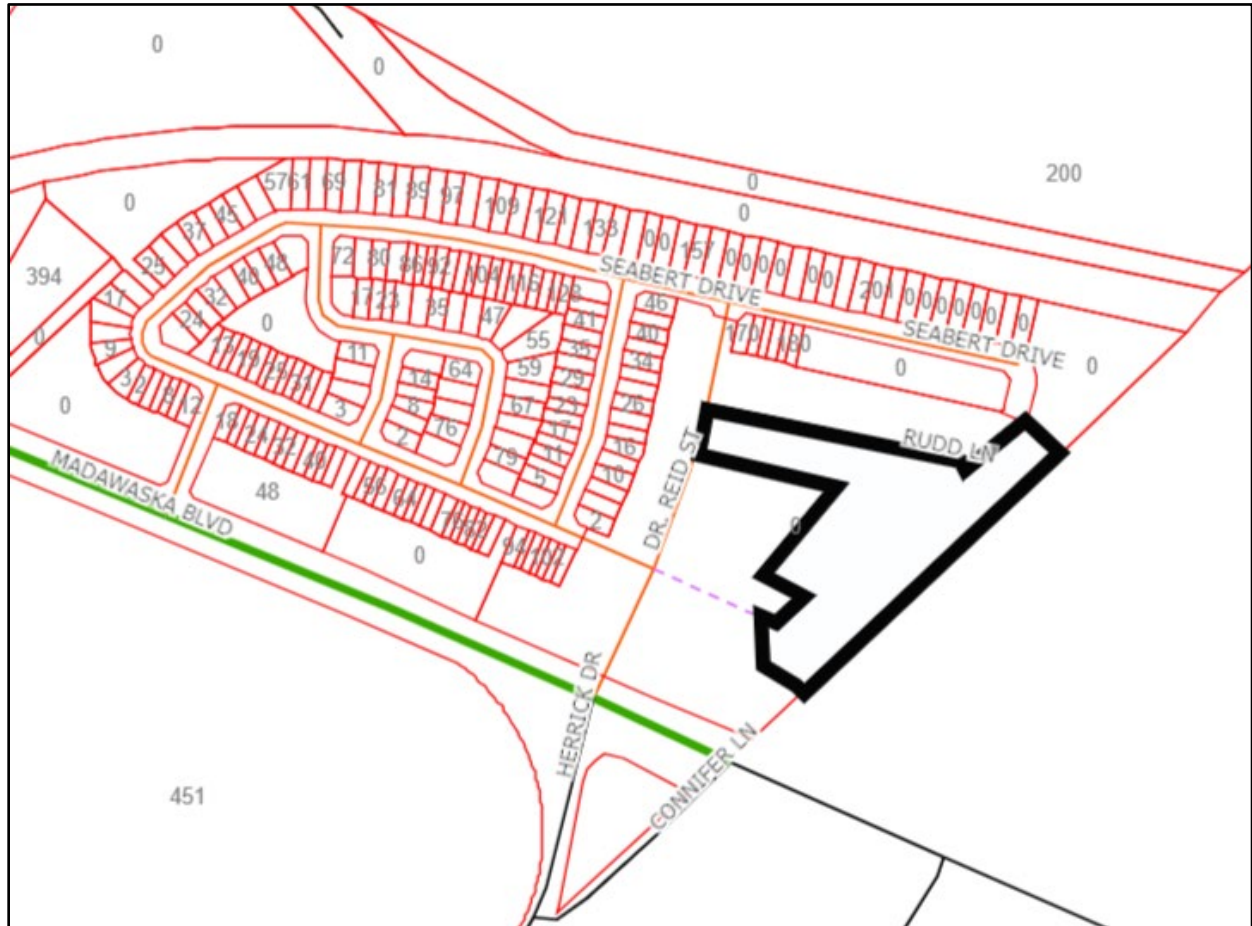
Reviewed by Department Head: Alix Jolicoeur

Reviewed by General Manager, Client Services/Treasurer: Jennifer Morawiec

CAO Concurrence: Robin Paquette

Workflow Certified by Town Clerk: Town Clerk

Document 1 – Key Map







Map showing the proposed zoning for Phase 5 of Marshall's Bay Meadow. The map includes streets such as Dr. Reid Street, Seabert Drive, and various zoning codes (R3, R4*28, R4*42, OS). A red outline highlights a specific area with callouts: "From R3* 41 to R3*48" and "From R3 to R3*48". A north arrow and a scale bar (1:2000) are also present.

Document 3 – Revised Subdivision Concept Plan with Phasing





Concept 18																		
Saleable Frontage & Road Length	Phase 1A		Phase 1B		Phase 2		Phase 3		Phase 4A		Phase 4B		Phase 5A		Phase 5B		TOTAL	
	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)
Residential	689.60	526.59	179.83	227.75	361.71	242.12	807.27	488.80	530.99	337.91	245.36	366.05	578.40	347.44	320.55	199.91	3713.71	2736.57
Medium Density	50.63				48.69						51.43		51.81				202.56	
Total	740.23	526.59	179.83	227.75	410.40	242.12	807.27	488.80	530.99	337.91	296.79	366.05	630.21	347.44	320.55	199.91	3916.27	2736.57

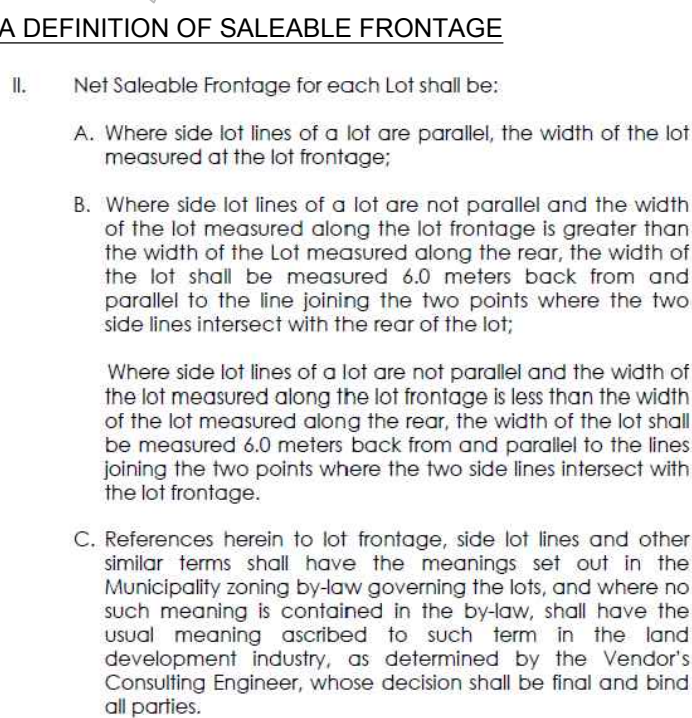
Legend

NeilCorp Homes

	42' Singles
	31' Semis / 38' Semis
	25' Bungalow Town
	20' Street Town

eQ Homes

	42' Singles
	37' Singles
	33' Singles
	20' Street Town



I.	UPDATED LOTTING IN PHASES 4 & 5	APRIL 01/25	BS
	REVISION	DATE	BY

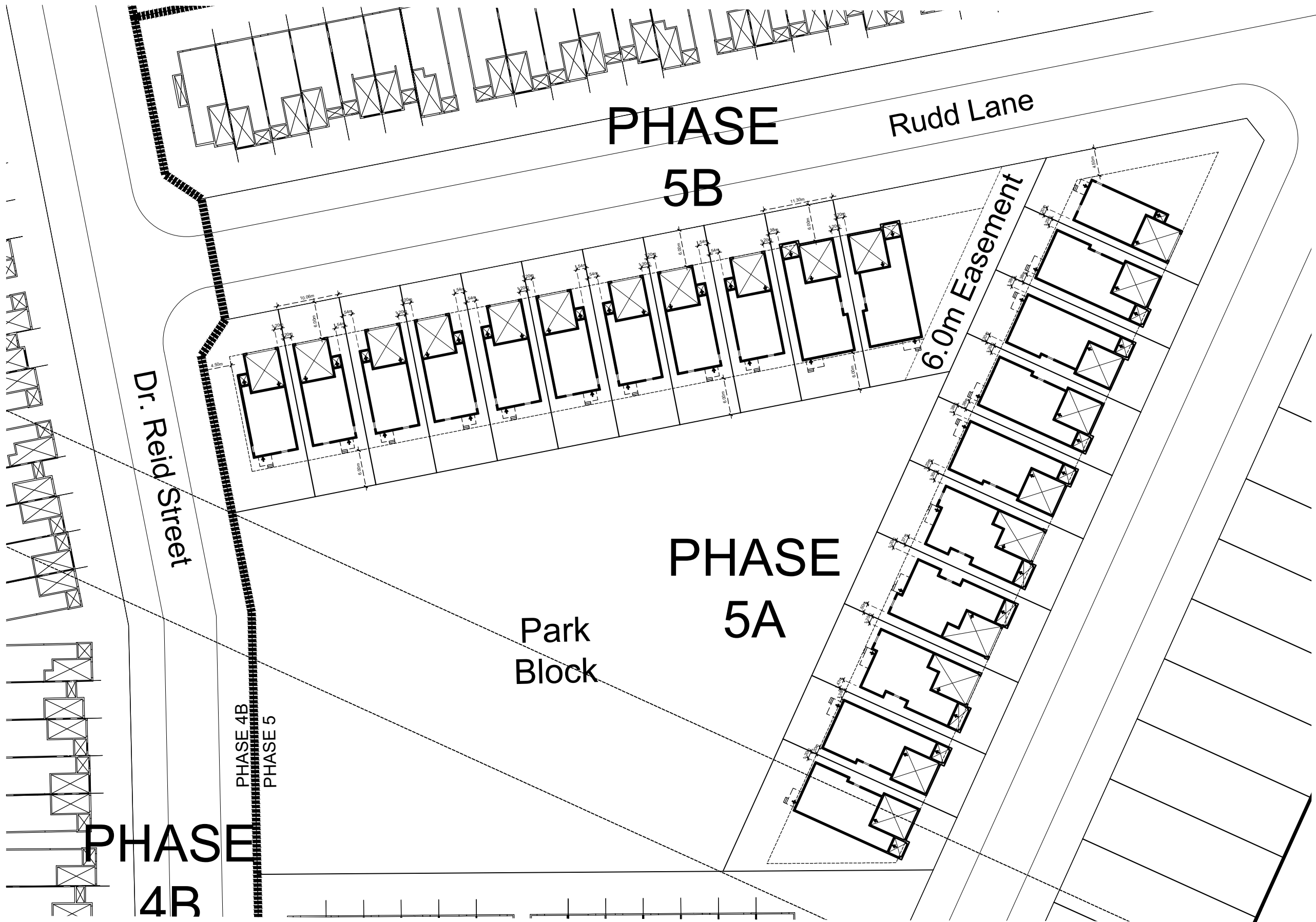
FOR REVIEW ONLY

LOCATION
Town of Arnprior
MARSHALL'S BAY MEADOW

CONCEPT PLAN 18

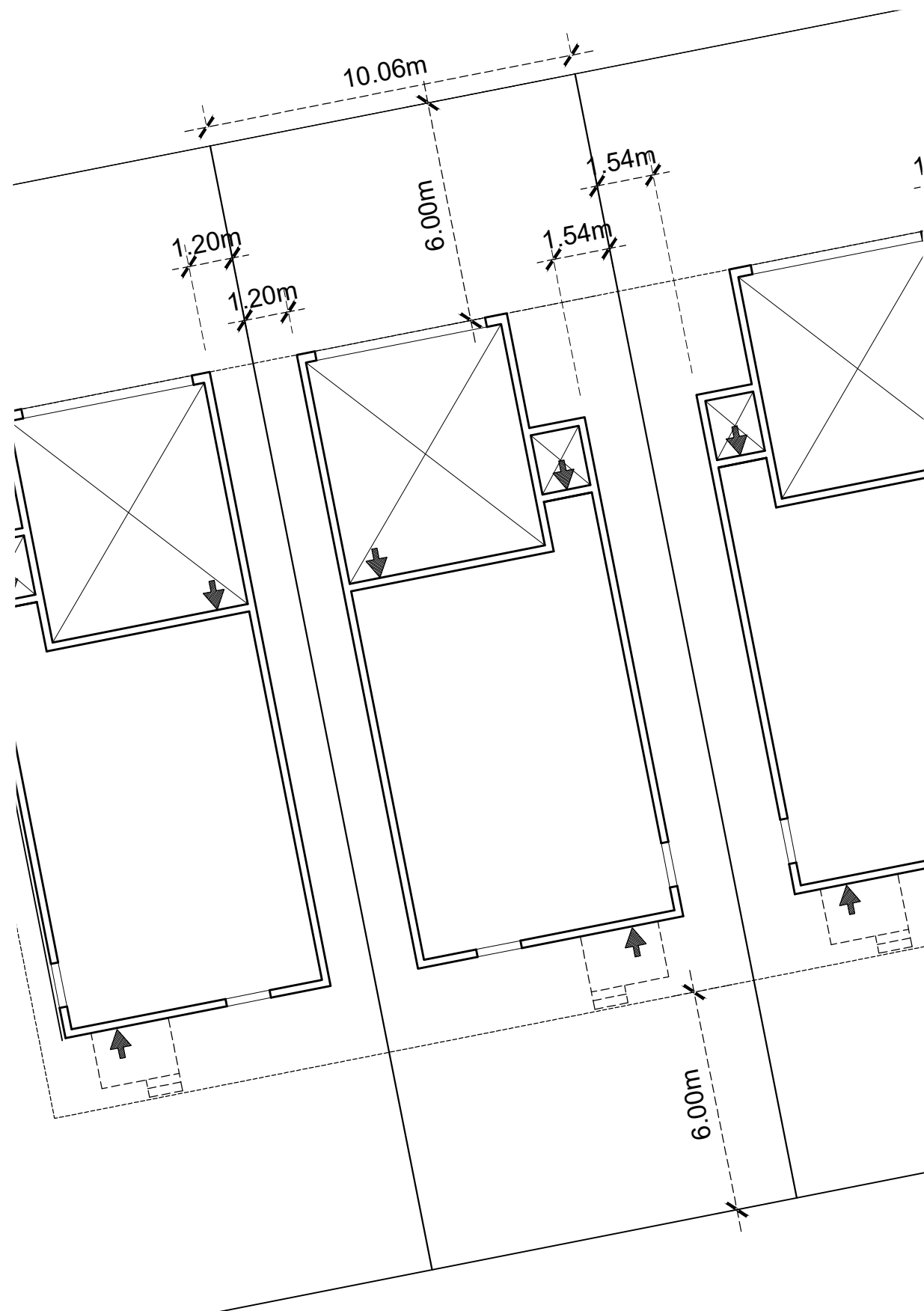
PROJECT No.	117164
REV	REV #1
DRAWING No.	117164-CP18

Document 4 - Conceptual site plans

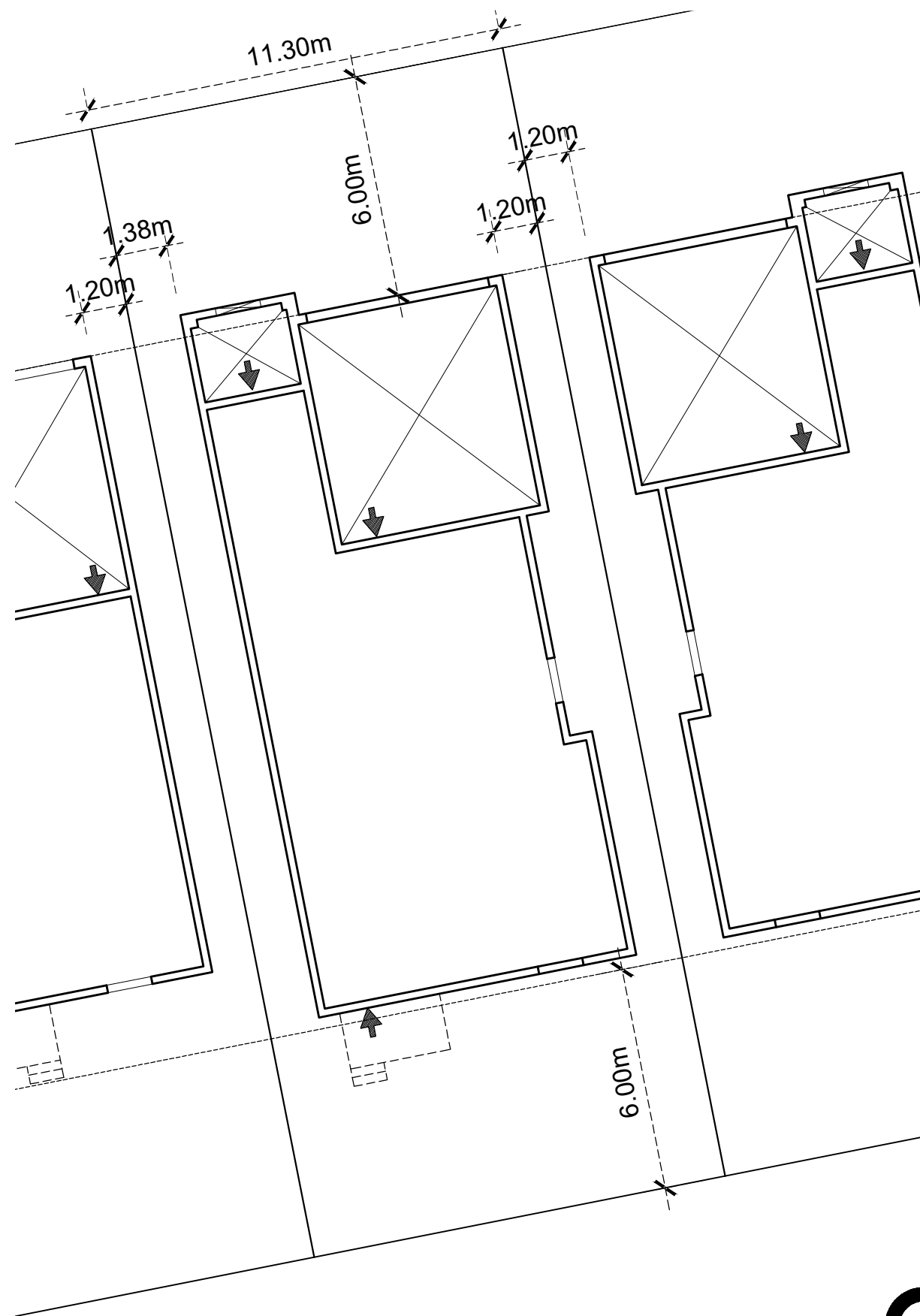


**** This is conceptual. Footprints may vary. ****





33' Single



37' Single

**** This is conceptual. Footprints may vary.****

Document 5 – Planning Rationale submitted by the applicant

Engineering

Land/Site
Development
Municipal
Infrastructure
Environmental/
Water Resources
Traffic/
Transportation
Recreational

Planning

Land/Site
Development
Planning
Application
Management
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Marshall's Bay Meadows

(Phases 5A & 5B)

Planning Rationale

Zoning By-law Amendment

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Planning Rationale

Zoning By-law Amendment

Prepared by:

NOVATECH

240 Michael Cowpland Dr. Suite 200
Ottawa, Ontario
K2M 1P6

File No.: 117164

Report Reference No. R-2025-28

April 4, 2025

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1.0 Introduction

Marshall's Bay Regional Inc. is the owner of lands in the Town of Arnprior originally known as 394 Madawaska Boulevard. Marshall's Bay Regional Inc. is in the final stages of development of the subject lands into a complete urban residential neighbourhood, known as Marshall's Bay Meadows. The neighbourhood combines various types and densities of residential dwellings and new commercial and higher density residential uses along Madawaska Boulevard. The subdivision is of sufficient size that has been designed and developed as a complete community that includes parks, open spaces and pedestrian networks.

Novatech has been retained by Marshall's Bay Regional Inc. to prepare a Planning Rationale in support of an application for a Zoning By-law Amendment for Phases 5A and 5B of the Marshall's Bay Meadows subdivision. The purpose of the Zoning By-law Amendment is to introduce new single family dwelling typologies in the form of 33- and 37-foot-wide lots (lots of 10.0 and 11.28 metres in width). The proposed Zoning By-law Amendment will not have any impact on the Draft Approved Plan of Subdivision in terms of the approved street layout, the location of parks and stormwater management ponds and the general layout of proposed residential typologies. The proposed Zoning By-law Amendment revisions reflect the current market conditions for housing demand in that single family dwellings with a smaller footprint are more affordable.

Implementing Zoning By-law Amendments for Marshall's Bay Meadows were adopted by Council on April 23, 2019 for Phase 1 of the Subdivision, March 31, 2021 for Phase 2 of the Subdivision and December 13, 2021 for Phases 3, 4A and 4B. The most recent Zoning By-law Amendment, which rezoned portions of Phase 4B as well as implementing zoning for Phase 5, was adopted by Council on October 10, 2023.

This Planning Rationale has been prepared to outline how the proposed Zoning By-law Amendment is consistent with Provincial policies, conforms to the Official Plan policies that are applicable to the proposed development and demonstrates that introducing new residential typologies represents good planning.

2.0 Site Location and Context

Marshall's Bay Meadows subdivision is located in the Town of Arnprior, in the County of Renfrew. The Town of Arnprior is located on the south shore of the Ottawa River at the outlet of the Madawaska River. The subdivision is located at the eastern limits of the Town of Arnprior (see Figure 1) and has approximately 667 metres (2,200 feet) of frontage along the north side of Madawaska Boulevard. Madawaska Boulevard is an east/west arterial road connecting the downtown area with the eastern neighbourhoods of the Town. Marshall's Bay Meadows is located less than 2.0 kilometres from the nearest Highway 417 Interchange (Exit 180).

Figure 1: Site Location



2.1 Project History

Marshall's Bay Meadows was previously designated as Employment Lands. The designation of the lands was amended to 'Residential' and 'Highway Commercial' through Official Plan Amendment No. 18, passed by Town Council in February 2013. The Town of Arnprior adopted a new Official Plan in 2017, which was approved by the County of Renfrew on December 7, 2017. The land use designations approved in OPA 18 have carried forward to the new Official Plan.

Marshall's Bay Meadows Subdivision (previously known as the T. Anas Holdings Subdivision) originally received Draft Plan of Subdivision on August 5, 2015. The current owners purchased the lands in March 2018 and proceeded to revise the general layout of the subdivision to improve connectivity and efficiency in the overall design of the new community.

A Draft Plan of Subdivision was approved by the County of Renfrew on December 11, 2018. The 2018 approved Draft Plan of Subdivision contained a total of 503 residential units.

The Zoning By-law Amendment to implement Phase 1 of Marshall's Bay Meadows was adopted on April 23, 2019 and registration of the Phase 1 subdivision occurred on February 3rd, 2021. The Zoning By-law Amendment to implement Phase 2 was adopted on March 31, 2021 and registration of the Phase 2 subdivision occurred on July 20, 2021. The Zoning By-law Amendment to implement Phases 3 and 4A was adopted on December 13, 2021 and registration occurred on April 5, 2023. The most recent Zoning By-law Amendment, which rezoned portions of Phase 4B as well as implementing zoning for Phase 5, was adopted by Council on October 10, 2023.

3.0 Proposed Zoning By-law Amendment

The application for Zoning By-law Amendment is intended to permit a modest reduction in lot width for some single-detached dwellings currently zoned R3 and R3*41 in Phases 5A and 5B of Marshall's Bay Meadows. The proposed reduction in lot width is intended to address residential market conditions by introducing new single-detached residential dwelling model types that have a smaller footprint and can be priced more affordably.

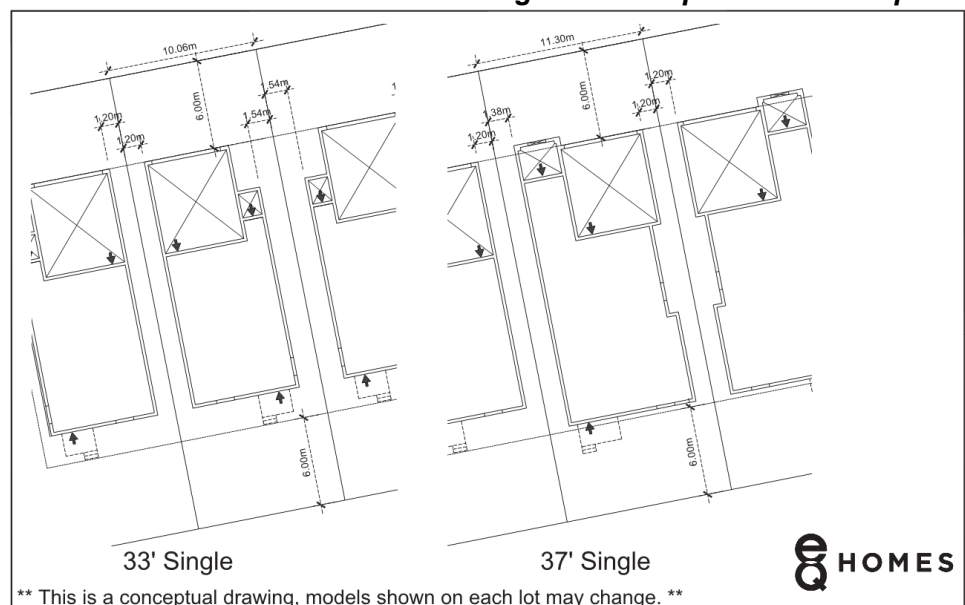
The Zoning By-law Amendment proposes to reduce the lot width for single-detached dwellings in Phase 5A and 5B of Marshall's Bay Meadows from a minimum requirement of 12.0 metres to a new lot width of 10.0 metres (equivalent to approximately 33 feet). Not all proposed lots in Phase 5A and 5B will be reduced to a 10.0-metre lot width. The current concept plan for Phases 5A and 5B includes the following breakdown of single-detached dwellings:

- 10.0-metre (33 foot) wide single-detached dwellings: 9
- 11.28-metre (37 foot) wide single-detached dwellings: 21
- 12.8-metre (42 foot) wide single-detached dwellings: 13
- **TOTAL SINGLES (Phases 5A & 5B): 43**

The development concept plan for Marshall's Bay Meadows originally proposed semi-detached units on the south side of Rudd Lane in Phase 5B. These units have been converted to single-detached dwellings which results in a loss of 1 dwelling unit. Similarly, revised lotting for Phase 5A, together with the introduction of 33-foot and 37-foot lots, results in an increase of 4 dwelling units. **In total, the proposed Zoning By-law Amendment will result in an overall increase of 3 dwelling units.**

The proposed Zoning By-law Amendment does not seek to revise the required setbacks and building heights in any of the applicable residential zones. Proposed dwelling units and corresponding lots have been designed to ensure that minimum lot setbacks (including interior and exterior side yard setbacks) can be met without modifications to the Zoning By-law. Figure 2 below demonstrates that the proposed 33-foot and 37-foot lots will meet all required setbacks.

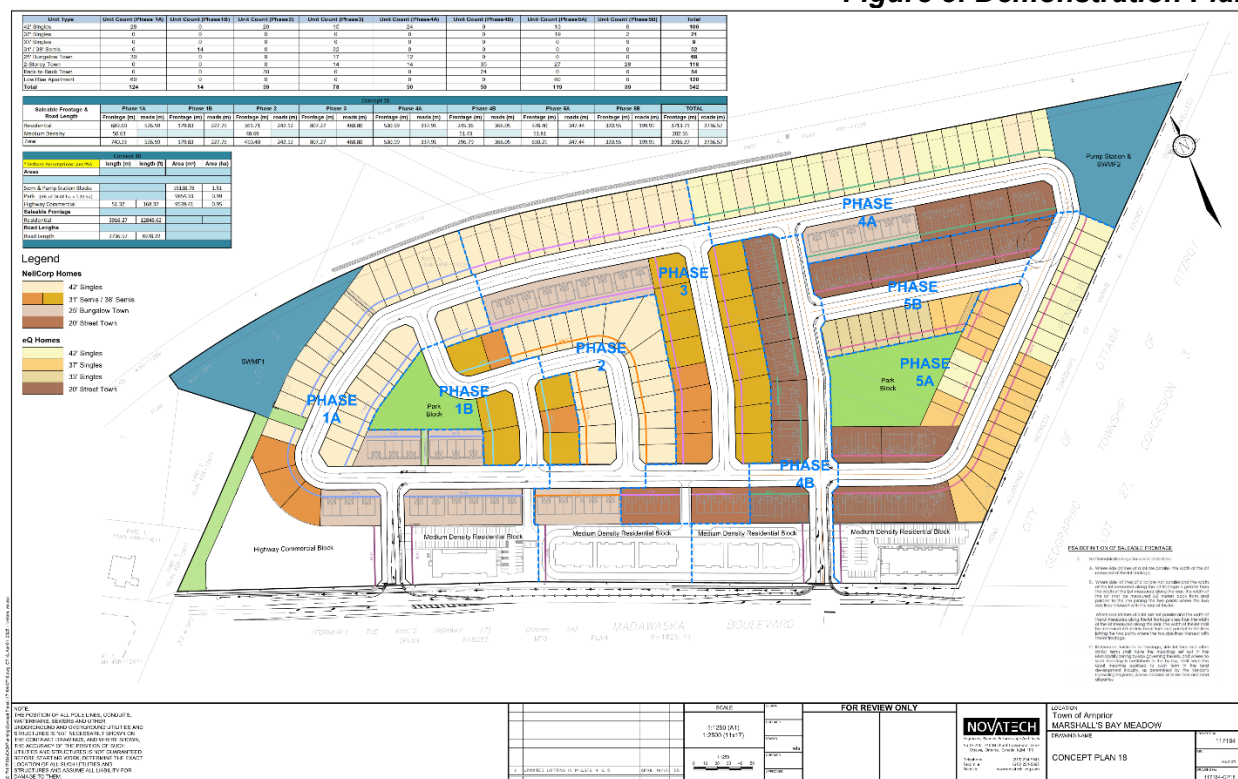
Figure 2: Sample House Footprints



The proposed Zoning By-law Amendment will facilitate an increase of 3 dwellings within Phases 5A and 5B. Together with revisions to the layout of the street townhouses (which does not require a Zoning By-law Amendment, the resulting Plan of Subdivision (see Figure 3) consists of:

- 130 single detached dwellings;
- 52 semi-detached dwellings;
- 186 street townhouse dwellings;
- 54 back-to-back townhouse dwellings (to be part of a subsequent Site Plan application);
- 120 apartment dwellings;
- 2 blocks for community parks;
- 1 block for commercial uses; and
- 2 blocks for servicing and stormwater management.

Figure 3: Demonstration Plan



4.0 PLANNING POLICY FRAMEWORK

The following is a review of the existing planning policy framework and demonstrates that the proposed Zoning By-law Amendment is consistent with the Provincial Planning Statement (2024) and conform to the policies of the Town of Arnprior Official Plan.

4.1 Provincial Planning Statement (2024)

The 2024 Provincial Planning Statement (PPS) came into effect on October 20, 2024, and provides policy direction on land use planning and development matters of provincial interest. All decisions affecting planning matters “shall be consistent with” policies issued under the authority of Section 3 of the Planning Act.

Section 2.2 of the PPS outlines the methods in which municipalities are to be supporting various forms of housing throughout the Province. Policy 1 of Section 2.2 states,

“Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:

- a) establishing and implementing minimum targets for the provision of housing that is affordable to low and moderate income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options including affordable housing needs;*
- b) permitting and facilitating:*
 - 1. all housing options required to meet the social, health, economic and wellbeing requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and*
 - 2. all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;*
- c) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and*
- d) requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.”*

The proposed Zoning By-law Amendment introduces a modest reduction in the lot width of some lots within Phases 5A and 5B of Marshall's Bay Meadows. The proposal to reduce lot width will allow for home builders to provide a single-detached dwelling housing type that is on a smaller footprint. A smaller footprint dwelling in turn provides more opportunities for affordability for those residents seeking a single-detached dwelling. Increases densities promote further efficiencies in the use of land and resources with minimal increase in infrastructure demands.

The proposed Zoning By-law Amendment is consistent with the policy framework set out in the Provincial Planning Statement (2024). The proposed reduced lot widths for single-detached dwellings promotes efficient use of land within the urban area with no impact to natural environmental features, agricultural resources, mineral and aggregate resources or cultural heritage.

4.2 Town of Arnprior Official Plan

The Original Draft Plan of Subdivision was approved based on the policy framework of the Town of Arnprior Official Plan dated October 1997. The Town of Arnprior adopted a new Official Plan in 2017, which was approved by the County of Renfrew on November 29, 2017 (herein referred to as the 'Official Plan'). The following section identifies key policies and objectives of the Official Plan and demonstrates how the proposed Zoning By-law Amendment for a reduced lot width conforms to these policies and objectives.

Section A3.2 (Sustainable Development) of the Official Plan lists a number of Strategic Objectives aimed at meeting a goal *"to promote and encourage sustainable forms of land use and development"*:

- a) *"Minimize the Town's ecological footprint and the impacts of growth by encouraging new development that is based on the principles of sustainable development;*
- f) *Promote a compact urban form and develop an energy-efficient mix of land uses, where appropriate, to provide livable, healthy communities;*
- g) *Encourage reductions in the use of private automobiles by promoting active transportation and the use of Transportation Demand Management measures, such as cycling and walking;*
- h) *Encourage efficient site design, and building design and construction techniques that minimize space heating and cooling energy consumption, and encourage the upgrading/retrofitting of existing buildings and facilities;*

Section A3.4 (Community Character) lists objectives that direct new development to *"protect and enhance the character of the community"*:

- a) *Encourage the development of neighbourhoods which are: compact; provide for an integrated network of pedestrian-oriented streets, pathways and cycling facilities; and provide an appropriate mix of housing types, community facilities, commercial and service uses, and open spaces;*

The proposed Zoning By-law Amendment conforms to the objectives of Sections A3.2 and A3.4 by:

- **Slightly increasing overall density in Phases 5A and 5B through the moderate reduction in lot width for some, but not all, single-detached dwellings which more efficiently utilizing existing land supply as well as existing and proposed infrastructure.**
- **The proposed introduction of 10.0 metre (33-foot) and 11.28 metre (37-foot) single-detached dwellings allows for the introduction of new, more affordable, typologies of residential dwelling.**

Section A3.7 (Infrastructure) of the Official Plan lists objectives aimed at meeting a goal *“to ensure that all infrastructure, including sanitary sewers, water distribution and stormwater management facilities, roads and municipal facilities meet the needs of present and future residents and businesses.”*:

- a) *“Ensure that all infrastructure required to serve urban areas is built prior to, or coincident with, development;*
- b) *Encourage the establishment of an integrated transportation system that safely and efficiently accommodates various modes of transportation including cycling, walking, automobiles and trucks;*
- c) *Ensure that the construction of all infrastructure, or expansions to existing infrastructure, occurs in a manner that is compatible with adjacent land uses, is cost effective and with a minimum of social and environmental impact;*
- d) *Encourage the provision of infrastructure that is energy efficient, promotes water conservation and water efficiencies, and supports improvements to air quality;*
- e) *Encourage upgrades to the Town’s water and sewage collection system to improve efficiencies and expand capacity.”*

The proposed Zoning By-law Amendment conforms to the objectives of Section A3.7 by:

- **Allowing for an increase of 3 single-detached dwelling units (in place of semi-detached and single-detached dwellings) over all of Phases 5A and 5B of Marshall’s Bay Meadows while not impacting both the built and proposed infrastructure to support the remaining lots in the subdivision.**
- **The proposed Zoning By-law Amendment does not impact the additional park block for the community included in Phase 5A. Streets will continue to maintain the approved community street network and associated sidewalks.**

Section A3.8 (Housing) of the Official Plan lists objectives aimed at meeting a goal *“To provide an appropriate housing supply and range of housing choices to meet the needs of present and future residents”* by:

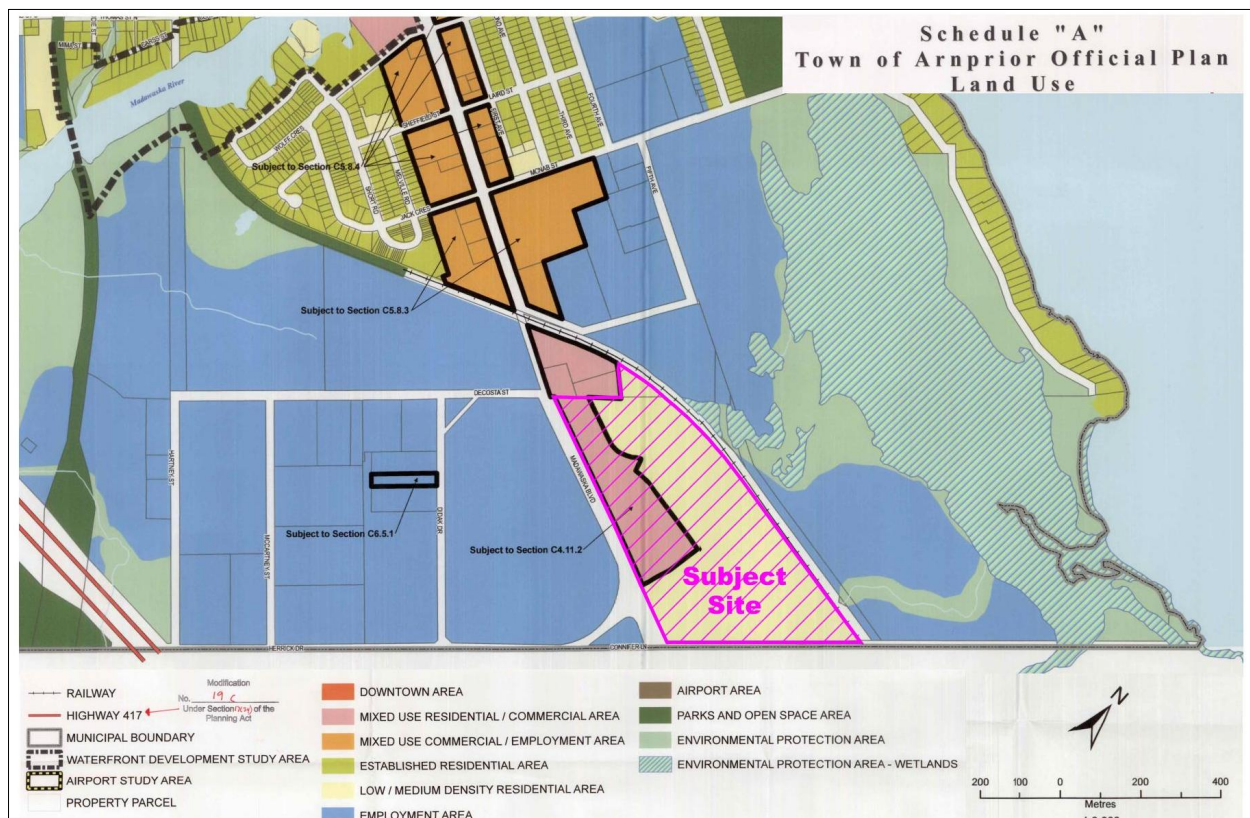
- a) *“Ensure that there is an appropriate supply of land for residential development subject to the availability of water and wastewater capacity;*
- b) *Assist in the achievement of residential intensification and affordable housing by encouraging opportunities for mixed-use development in appropriate locations that support the other objectives of this Plan;*
- e) *Ensure that a full range of housing opportunities for all incomes and ages is available for residents in the Town;*
- f) *Ensure that a viable amount of rental housing continues to be available;*
- g) *Support universal physical access and encourage the building industry to incorporate such features in new residential structures.”*

The proposed Zoning By-law Amendment conforms to the objectives of Section A3.8 by:

- Continuing to propose a mix of single-detached dwellings, semi-detached dwellings, street townhouses and apartments to ensure a full range of housing opportunities exist in Marshall's Bay Meadows. A mix of two-storey and bungalow units provide further options for housing to accommodate housing opportunities for a wide variety of lifestyles and needs.

Marshall's Bay Meadows has two land use designations on Schedule A – Land Use' of the Official Plan. The lands that are subject to the proposed Zoning By-law Amendment are designated 'Low/Medium Density Residential Area'. A portion of the southwest corner of the subdivision is designated 'Mixed Use Residential / Commercial Area' (see Figure 4).

Figure 4: Town of Arnprior Official Plan Schedule (Excerpt)



For lands designated 'Low/Medium Density Residential Area', Section C2.2 of the Official Plan states that the objectives of the designation are to:

- "Provide for new housing opportunities to meet the Town's projected housing needs;
- Provide for a range of housing types and forms to ensure accessible, affordable, adequate, and appropriate housing for all socio-economic groups;
- Achieve more compact forms of residential development in a manner that is compatible with the character and pattern of adjacent surrounding development;
- Ensure that new residential areas permit a variety of complementary and compatible land uses, including community facilities, open space areas; and,

- e) *Establish a comprehensive set of design guidelines and policies for new residential development that fosters the establishment of an urban environment that is safe, functional, sustainable and attractive."*

The proposed Zoning By-law Amendment conforms to the objectives of Section C2 by:

- **Expanding the typologies available for single-detached dwellings by providing a selection of unit types that are marginally smaller in lot width to accommodate a single-detached dwelling with a small building footprint. Options for two-storey and bungalow units provide housing opportunities for a wide variety of lifestyles and needs;**
- **Slightly increasing the number of units by establishing a further compact development in the form of smaller single-detached dwellings on 10.0-metre (33-foot) and 11.28 metre (37-foot) residential lots.**

Section C2.3 of the Official Plan establishes the list of uses permitted in the 'Low/Medium Density Residential Area designation'. Uses permitted are:

- a) *"Single detached dwellings;*
- b) *Semi-detached dwellings;*
- c) *Townhouse dwellings;*
- d) *Low-rise apartments buildings (maximum height – 6 storeys);*
- e) *Secondary residential units in accordance with Section B9.3;*
- f) *Home businesses in accordance with Section C1.5.1;*
- g) *Bed and breakfast establishments in accordance with Section C1.5.2;*
- h) *Day nurseries and local institutional uses in accordance with Section C1.5.3."*

All residential uses proposed in Phases 5A and 5B of Marshall's Bay Meadows are permitted in the 'Low/Medium Density Residential' designation. The proposed Zoning By-law Amendment does not have a negative impact on the provision for various dwelling types but increases the typologies of single-detached dwellings available in Marshall's Bay Meadows.

Section C2.4.1 of the Official Plan includes policies that are intended to promote the development of single-detached dwellings in all new large subdivisions. It is understood that the intent of these policies is to protect the historic residential character of the Town, which is predominately single-detached older homes. To address this intention, the policies of Section C2.4.1 state,

- a) *"The predominant form of housing in new development areas shall be in the form of single detached dwellings and in this regard, no less than 50% of the new dwelling units in any contiguous development area that has more than 20 units be comprised of single detached dwellings.*
- b) *This policy also applies to existing contiguous development areas as well and if an application to re-lot an already registered Plan of Subdivision is received by the Town.*
- c) *An amendment to this Plan is not required if the Town determines that an alternative approach that is generally in keeping with this section of the Plan is appropriate."*

The proposed Zoning By-law Amendment will result in an overall increase of 3 single-detached dwelling units within Phases 5A and 5B of Marshall's Bay Meadows. This slight increase in the overall number of single-detached dwellings (which replaces both semi-detached and single-detached dwellings) does not impact on the previous methodology for Marshall's Bay Meadows, which was to provide an appropriate mix of dwelling unit types to accommodate market conditions over Official Plan policies.

The proposed Zoning By-law Amendment is consistent with the policy framework set out in the Arnprior Official Plan. The proposed reduction in lot width for single-detached dwellings is permitted by the Official Plan and will provide for an increase in the typologies of residential dwellings that will be available in the final phases of Marshall's Bay Meadows.

5.0 Conclusion

This planning rationale demonstrates that the proposed Zoning By-law Amendment is consistent with the Provincial Planning Statement (2024) and conforms to the policies of the Town of Arnprior Official Plan. The proposed Zoning By-law Amendment will allow for single-detached dwellings that have a smaller overall building footprint and can assist in the affordability of residential units in Marshall's Bay Meadows.

The proposed Zoning By-law Amendment for Phases 5A and 5B of Marshall's Bay Meadows is an appropriate and desirable addition to the community and represents good planning.

Prepared by:

NOVATECH

A handwritten signature in black ink, appearing to read 'Adam Thompson', with a stylized flourish at the end.

Adam Thompson, MCIP RPP
Senior Project Manager | Planning & Development



Town of Arnprior Staff Report

Subject: Zoning By-law Amendment 7/24 – Sawmill Flats Phase 3

Report Number: 25-04-14-03

Report Author and Position Title: Alix Jolicoeur, Manager of Community Services / Planner

Department: Community Services

Meeting Date: April 14, 2025

Recommendations:

That Council receives an application for an amendment to Zoning By-law 6875-18 for land legally described as McNab Concession C, Part of Lot 3, Part 1 on Registered Plan 49R-19701, Arnprior Ontario, to:

- Reduce the setback to watercourse from 30 m to 4.86 m for a retaining wall and parking area;
- Increase the maximum building height from 15 m to 16.8 m;
- Reduce the minimum required parking from 71 spaces to 68 spaces; and
- Permit the balconies to encroach into the minimum required front yard by 1.25 m

Further That pursuant to Section 34(12) of the Planning Act, Council holds a public meeting on May 12th, 2025, regarding the proposed amendment, to allow for public review and comment.

Background:

Owner: Hyor Holdings Inc.

Legal Description: legally described as McNab Concession C, Part of Lot 3, Part 1 on Registered Plan 49R-19701, Arnprior Ontario

Area of Land: 0.60 ha

Existing Structures: vacant

Official Plan: Mixed Use Residential/Commercial Area

Zoning: Mixed-Use Residential/Commercial Exception 26 (MU-CE*26)

An application for Zoning By-law amendment was received to:

- Reduce the setback to watercourse from 30 m to 4.86 m for a retaining wall and parking area;
- Increase the maximum building height from 15 m to 16.8 m;
- Reduce the minimum required parking from 71 spaces to 68 spaces; and

- Permit the balconies to encroach into the minimum required front yard by 1.25 m.

The proposed development is subject to a concurrent application for site plan control approval. The proposed development is a 16.8 m, 5-storey 57-unit apartment building with underground parking. See the proposed Site Plan in Document 2, attached.

Context

The subject lands are located on Jack Cres between 12 and 30 Jack Cres with the Madawaska River to the west.



Figure 1 Streetview of the subject lands

12 Jack Cres, Phase 2 of Sawmill Flats, is north of the subject property. It is an existing 4-storey apartment building with 59 units.



Figure 2 Streetview of 12 Jack Cres, Phase 2 of the Sawmill Flats development

South of the subject property is 30 Jack Cres, an existing 5-storey retirement living building.

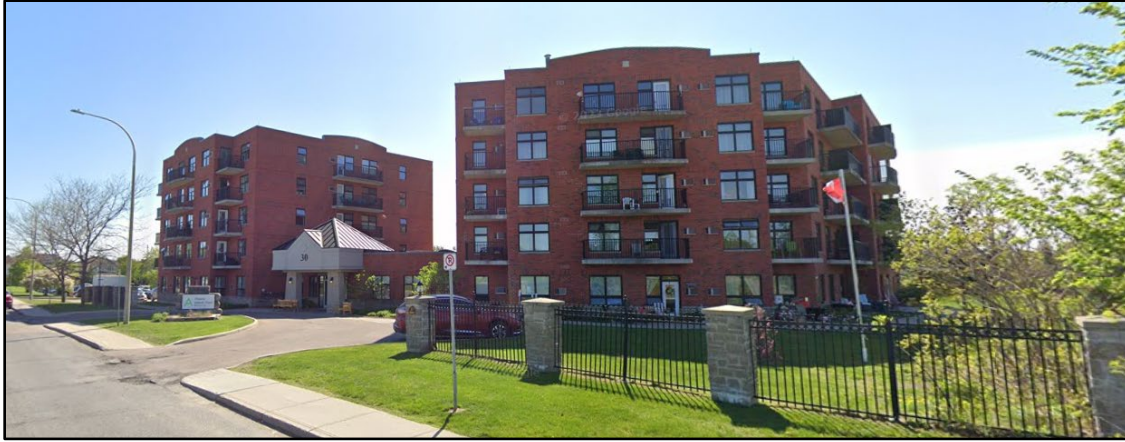


Figure 3 Streetview of 30 Jack Cres

East of the subject property across Jack Cres, is vacant land subject to a current site plan application for a 185-unit apartment complex.



Figure 4 Streetview of vacant land across the street from the subject property

Figure 5 is an aerial photograph of the area from 2020.

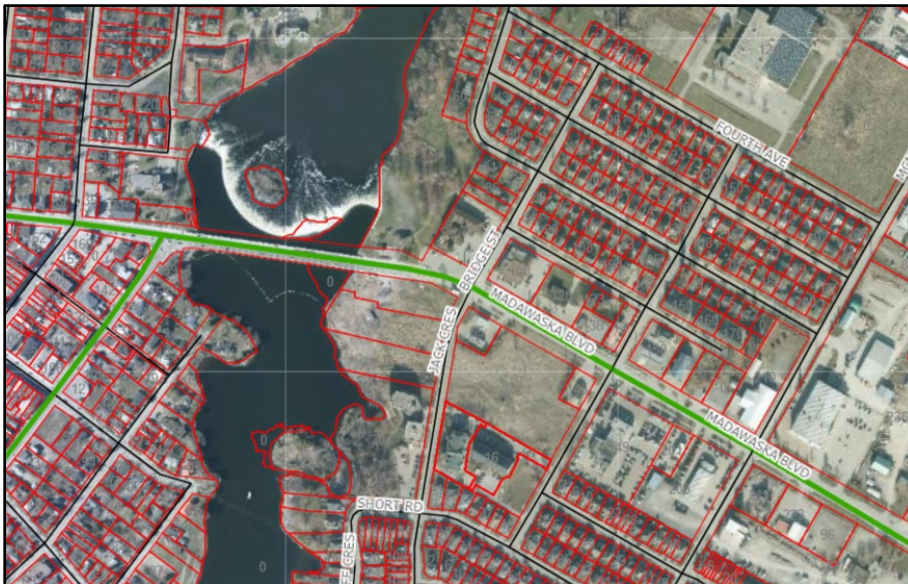


Figure 5 Aerial photo from 2020 of the subject and surrounding lands

Discussion:

Provincial Planning Statement, 2024

The Provincial Policy Statement, 2024 section 2.2.1. requires planning authorities to “provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by...permitting and facilitating all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units... [and] promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities and supports the use of active transportation.”

Section 4.1. states:

- “1. Natural features and areas shall be protected for the long term.
- 2. The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.”

There are no PPS policies which speak directly to height, balcony location or parking rates.

Official Plan Policies

The subject property is designated Mixed Use Residential/Commercial Area in the Town of Arnprior Official Plan.

The objectives of the Mixed Use Residential/Commercial Area designation, as per section C4.2, include:

- “a) Provide for the development of new medium and higher density residential uses along with complementary low impact non-residential uses;...”

Permitted uses in the Mixed Use Residential/Commercial Area designation, as per section C4.3, include medium and high-density residential uses up to 6 storeys.

Section C4.9 sets out the following policies for development within the Mixed Use Residential/Commercial designation:

“In considering an application for development in the Mixed Use Residential/Commercial Area designation, the Town must be satisfied that:

- a) Adequate on-site parking facilities and snow storage facilities are provided for the development with such parking being provided in locations that are compatible with surrounding land uses;

- b) Every effort has been made to provide motor vehicle access to the lot from an abutting street where possible, without unduly creating traffic infiltration issues in the surrounding area;
- c) Vehicular access points to multiple uses on the lot are coordinated and consolidated where possible;
- d) New buildings that are adjacent to low density areas are designed to respect a 45-degree angular plane measured from the boundary of a lot line which separates the lot from an adjacent lot with a low-rise residential dwelling;
- e) The development will have minimal impacts on adjacent properties in relation to grading, drainage, access and circulation, and privacy;
- f) Any loading and storage facilities that are provided are buffered so as to minimize disruption and the enjoyment of neighbouring residential properties;
- g) Improvements to the streetscape, such as soft landscaping, lighting fixtures, benches and public art, are part of the overall project design;
- h) New buildings are designed to present their principal building facades with an appropriate building design that faces the public road;
- i) Barrier free access for persons using walking or mobility aids are provided in all public and publicly accessible buildings and facilities and along major pedestrian routes;
- j) All lighting will be internally oriented so as not to cause glare on adjacent properties or public roads;
- k) Site and building services and utilities such as waste storage facilities, loading, air handling equipment, hydro and telephone transformers and switching gears and metering equipment, are located and/or screened from public roads and adjacent residential areas or other sensitive land uses, in order to buffer their visual and operational effects; and,
- l) Waste storage areas are integrated into the principal building on the lot and where waste storage areas are external to the principal building, they are enclosed and not face a public road."

Section D1.2 e) of the Official Plan identifies that "Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in Sections D1.2 (a), (b) and (c) of this Plan, unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions. Additional polices on adjacent lands are contained in Section D1.10.1 of this Plan."

All watercourses are considered to be fish habitat or potential fish habitat. Any development or site alterations within 120 m of fish habitat or potential fish habitat is only permitted if it can be demonstrated there will be no negative impact to the fish habitat.

Section D1.13 states that "For existing lots of record, new development should be set back 30 metres, if possible, otherwise as far back as the lot permits with non-disturbance of the native soils and very limited removal of the shoreline vegetation."

Zoning By-law Provisions

The current zoning of the land is Mixed-Use Residential/Commercial Exception 26 (MU-CE*26).

The Mixed-Use Residential/Commercial Exception 26 (MU-CE*26) permits apartment dwellings.

Exception 26 states that for all uses in the MU-RC zone:

“Maximum height – 15 metres”

The following table illustrates how the proposed building meets the required zone provisions in MU-RC*26

Provisions	Required	Proposed
Minimum lot frontage	30.0 m	45.0 m
Minimum front yard	4.5 m	+ 4.5 m for main building with balconies at approximately 4 m
Minimum rear yard	7.5 m	33.71 m
Minimum interior side yard	2.4 m	2.4 m & 17 m
Maximum height	15 m (as per exception 26)	16.80 m
Required tenant parking per unit	1 per apartment unit	1 per apartment unit
Visitors parking per unit	0.25 per apartment unit	0.19 per apartment dwelling (short 3 visitors parking spaces)

The balconies project approximately 0.5 m into the minimum required front yard. Section 6.4.10 of the zoning by-law sets out projections into minimum required yards for residential zones. Section 6.4.10 permits balconies to encroach a maximum of 1.5 m into a minimum required front yard. The zoning of the subject property is Mixed-Use Residential Commercial which is not subject to the permitted encroachments set out in section 6.4.10 therefore a zoning by-law is required for the projection of balconies into the minimum required front yard.

Process

April 14, 2025 – Council is requested to authorize holding the statutory public meeting

May 12, 2025 – Public meeting on the application

May 26, 2025 – Decision on the application by Council. Should Council pass the amending by-law or refuse to pass the by-law, a 20-day appeal period to the Ontario Land Tribunal will apply.

The applicant has submitted an application for Site Plan Control Amendment Approval for the subject lands, with all the supportive studies and plans included. Building permits will be required for the building.

Options:

1. Refuse the requested zoning by-law amendments in full without going to public meeting. This is not recommended by staff.

Policy Considerations:

As outlined above.

Financial Considerations:

Not applicable.

Meeting Dates:

1. April 14, 2025 – Council is requested to authorize holding the statutory public meeting May 12, 2025
2. May 12, 2025 – Public meeting on the application
3. May 26, 2025 – Decision on the application by Council.

Consultation:

The zoning by-law amendment application will be circulated to the County of Renfrew, Renfrew County District School Board, Renfrew County Catholic District School Board, Conseil des Ecole Catholique centre-est, Enbridge Gas, Ontario Power Generation, Hydro One Networks Inc., McNab/Braeside, City of Ottawa, Ministry of Municipal Affairs and Housing, Arnprior Fire Chief, Arnprior Chief Building Official, General Manager of Operations, and CAO for comment.

No comments have been received to date.

Documents:

1. Key Plan
2. Site Plan
3. Elevations
4. Zoning Brief submitted by the applicant

Signatures

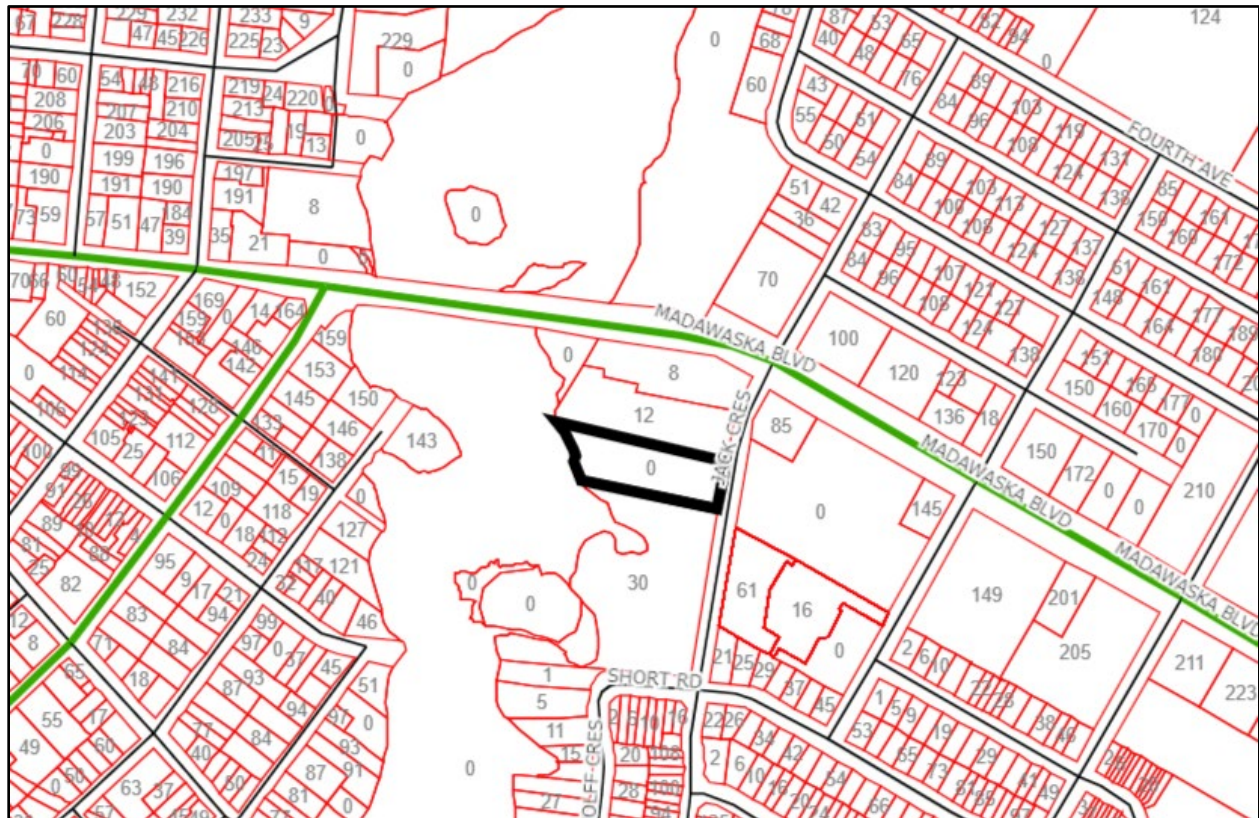
Reviewed by Department Head: Alix Jolicoeur

Reviewed by General Manager, Client Services/Treasurer: Jennifer Morawiec

CAO Concurrence: Robin Paquette

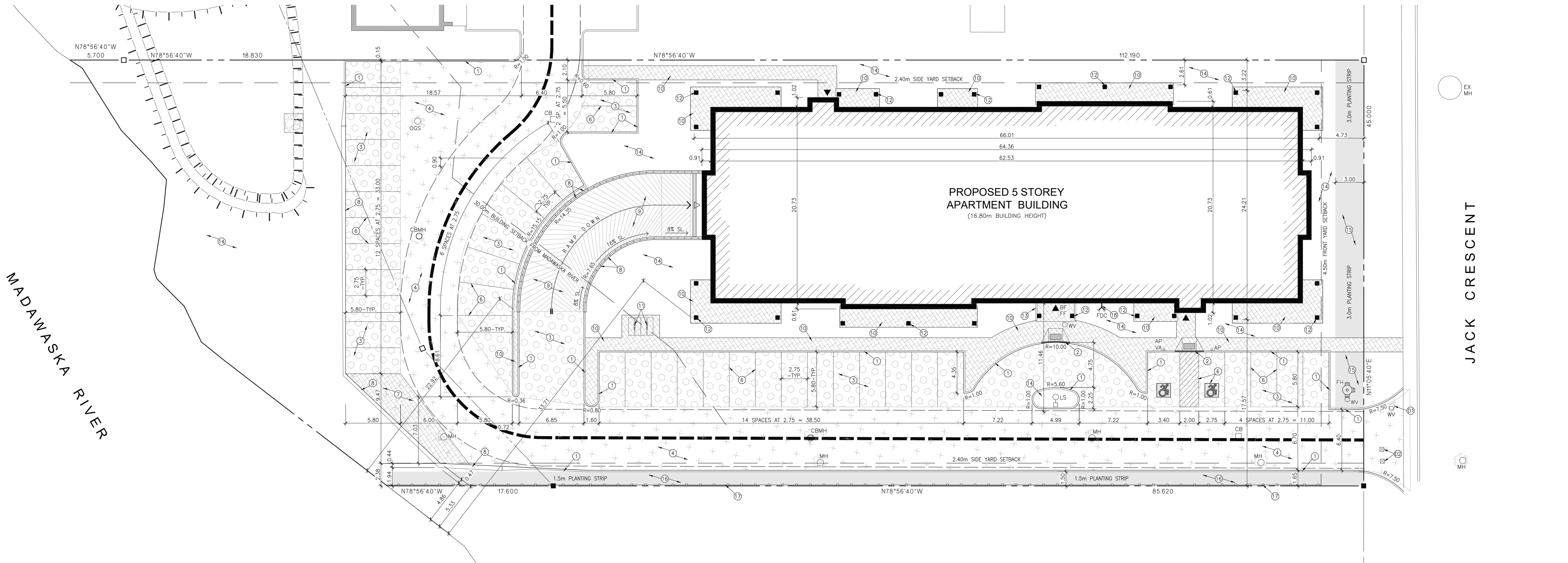
Workflow Certified by Town Clerk: Kaila Zamojski

Document 1 – Key Plan



Document 2 – Site Plan

gb



SITE DATA:

MUNICIPAL ADDRESS: JACK CRESCENT, ARNPRIOR, ONTARIO
LEGAL DESCRIPTION: PLAN OF SURVEY OF PART OF LOT 3, CONCESSION C, GEOGRAPHIC TOWNSHIP OF McNAB, TOWN OF ARNPRIOR, COUNTY OF RENFREW AS PREPARED BY ADAM KASPRZAK SURVEYING LTD., O.L.S., RENFREW, ONTARIO DATED FEBRUARY 1, 2021.

ZONING:

MU-RC: MIXED-USE RESIDENTIAL/COMMERCIAL
REQUIRED PROVIDED
NO REQUIREMENT 5,546.73 m² (1.370 ACRES)
MIN. 30.0 m 45.000 m

SITE AREA:

LOT FRONTAGE: 17.600 m
REQUIRED BUILDING SETBACKS: 4.50 m 4.73 m
FRONT YARD: 2.40 m 2.61 m
SIDE YARD: 30.00 m 33.71 m
REAR YARD: 1.333.70 m² (14,355.83 ft²)

BUILDING AREA

GROSS FLOOR AREA: 1,333.70 m² (14,355.83 ft²)
PARKING GARAGE: 6,668.50 m² (71,779.14 ft²)
1ST THRU 5TH FLOOR: 16.80 m

BUILDING HEIGHT

(INCLUDES BALCONY COLUMNS) 1,338.54 m² (14,407.92 ft²)

LOT COVERAGE

BLDG. FOOTPRINT/SITE AREA: 1,338.54 m² / 5,546.73 m² = 24.13%

TOTAL ASPHALT AREA; (INCLUDES RAMP RET. WALL)

2,116.44 m² (22,783.48 ft²) = 38.16%

TOTAL LANDSCAPE/HARDSCAPE AREA:

2,091.75 m² (22,517.69 ft²) = 37.71%

PARKING REQUIRED:

1.25 SPACE/UNIT
57 UNITS x 1.25 = 72 SPACES

PARKING PROVIDED:

PARKING GARAGE: 25 STANDARD PARKING SPACES
1 TYPE 'A' PARKING SPACE
1 TYPE 'B' PARKING SPACE
SURFACE PARKING: 39 STANDARD PARKING SPACES
1 TYPE 'A' PARKING SPACE
1 TYPE 'B' PARKING SPACE
68 TOTAL SPACES PROVIDED

SITE PLAN NOTES

- STANDARD CONCRETE CURB - REFER TO CIVIL DWGS.
- DROPPED FLUSH CURB (BARRIER FREE ACCESS) c/w TACTILE WARNING INDICATOR - REFER TO CIVIL DWGS.
- STANDARD DUTY ASPHALT - REFER TO CIVIL DWGS.
- HEAVY DUTY ASPHALT - REFER TO CIVIL DWGS.
- PAINTED LINE MARKINGS AND GRAPHICS
- CONCRETE SIDEWALK/PATIO - REFER TO CIVIL/LANDSCAPE DWGS.
- CONCRETE PAD - TEMPORARY REFUSE CONTAINER STORAGE
- RETAINING WALL AND FENCE - REFER TO CIVIL/ LANDSCAPE DWGS. ENGINEERED SHOP DWGS. ARE REQUIRED.
- HEATED CONCRETE PARKING GARAGE RAMP - REFER TO STRUCTURAL DWGS.
- CONCRETE SIDEWALK/FIRST FLOOR SUITE PATIO - REFER TO LANDSCAPE DWGS.
- BIKE RACKS - (2 BIKES/RACK) - 4 TOTAL BIKES (0.6m x 1.9m SPACE ALLOCATION)
- CANOPY/BALCONY COLUMN
- LINE OF OVERHEAD CANOPY/BALCONY
- SODDED/GRASS SEEDED AREA
- 3.0m WIDE FRONT YARD PLANTING STRIP (TONED SOLID HATCH) - REFER TO LANDSCAPE DWGS.
- 1.5m WIDE SIDE YARD PLANTING STRIP (TONED SOLID HATCH) - REFER TO LANDSCAPE DWGS.
- 1.5m HIGH SOLID WOOD BOARD FENCE - REFER TO LANDSCAPE DWGS.
- FIRE DEPARTMENT CONNECTION.
- SURPLUS SNOW STORAGE SHALL BE REMOVED OFF SITE AT OWNER'S EXPENSE BY PRIVATE REMOVAL SERVICE.
- ALL LIGHT STANDARDS SHALL BE EQUIPPED WITH FULL CUT OFF SHIELD TO PREVENT LIGHT SPILLAGE TO NEIGHBOURING PROPRIET.

DEMOLITION SITE PLAN NOTES

- EXISTING STREET LIGHT TO BE RELOCATED (OWNER'S EXPENSE)
- EXISTING BELL PEDESTAL TO BE RELOCATED

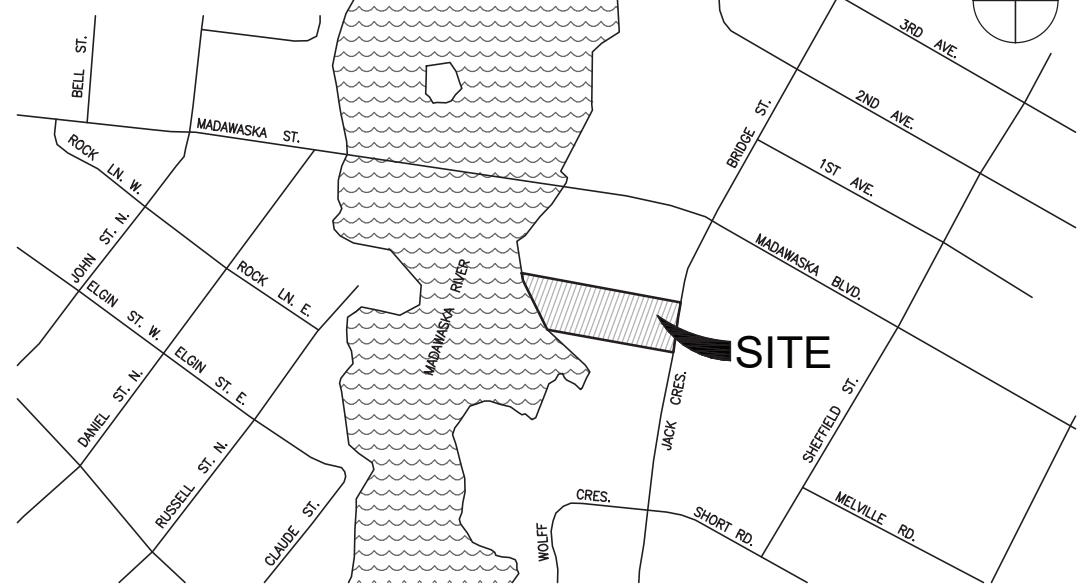
SITE LEGEND:

- PROPERTY LINE
- DENOTES FIRE ROUTE - MIN. 5.0m WIDE w/ 12.0m CENTRELINE RADIUS
- ▼ BUILDING EXIT
BF - DENOTES BARRIER FREE
FF - DENOTES FIRE FIGHTER PRINCIPAL ENTRANCE
- ▽ OVERHEAD DOOR (PARKING GARAGE)
- ACCESSIBLE PARKING
- NEW TRAFFIC SIGNAGE REFER TO SIGNAGE LEGEND
- CB □ NEW CATCH BASIN
MH □ NEW MANHOLE
- CBMH ○ NEW CATCH BASIN MANHOLE
OGS ○ NEW OIL AND GRIT SEPARATOR
WV ○ NEW WATER VALVE
LS ○ NEW LIGHT STANDARD
FDC Y FIRE DEPARTMENT CONNECTION
FH ○ NEW FIRE HYDRANT
- NEW 1.5m HIGH SOLID WOOD BOARD FENCE
- CONCRETE SIDEWALK
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- EX MH ○ EXISTING MANHOLE

SIGNAGE LEGEND:

AP - ACCESSIBLE PARKING
(VA - VAN ACCESSIBLE)

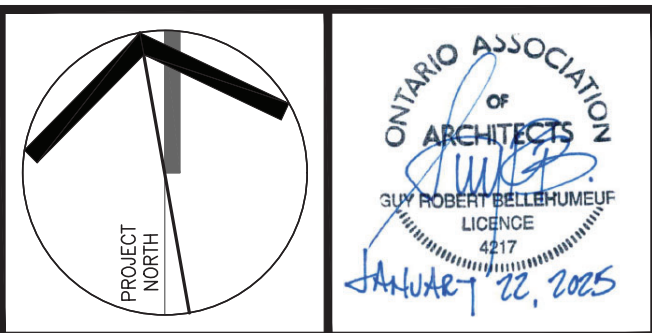
LOCATION MAP:



JACK CRESCENT

EX MH

MH



gb architect inc.
430 ONTARIO STREET
STRATFORD, ONTARIO, N5A 3J2
PHONE (519) 275 1410

"Guy R. Bellemeur, B. Arch., OAA, MRAIC, Principal Architect of GB ARCHITECT INC. is the designer for this project with respect to all architectural work identified on this drawing sheet. The Ontario Association of Architects has assigned Guy R. Bellemeur & GB ARCHITECT INC. BCDN 427 as per requirements of the Ministry of Municipal Affairs & Housing Bill 124."

The Architect above has exercised responsible control with respect to design activities. The Architect's seal number is their BCDN number.

No.	DATE	REVISION



APARTMENT PROJECT
FOR HYOR HOLDINGS INC. - PHASE 3

JACK CRESENT ARNPRIOR, ONTARIO	
PRINT DATE:	January 22, 2025
DATE:	January 22, 2025
DRAWN BY:	KED
CHECKED BY:	G.R.B.
SCALE:	1:200
PROJECT No.:	23-2245

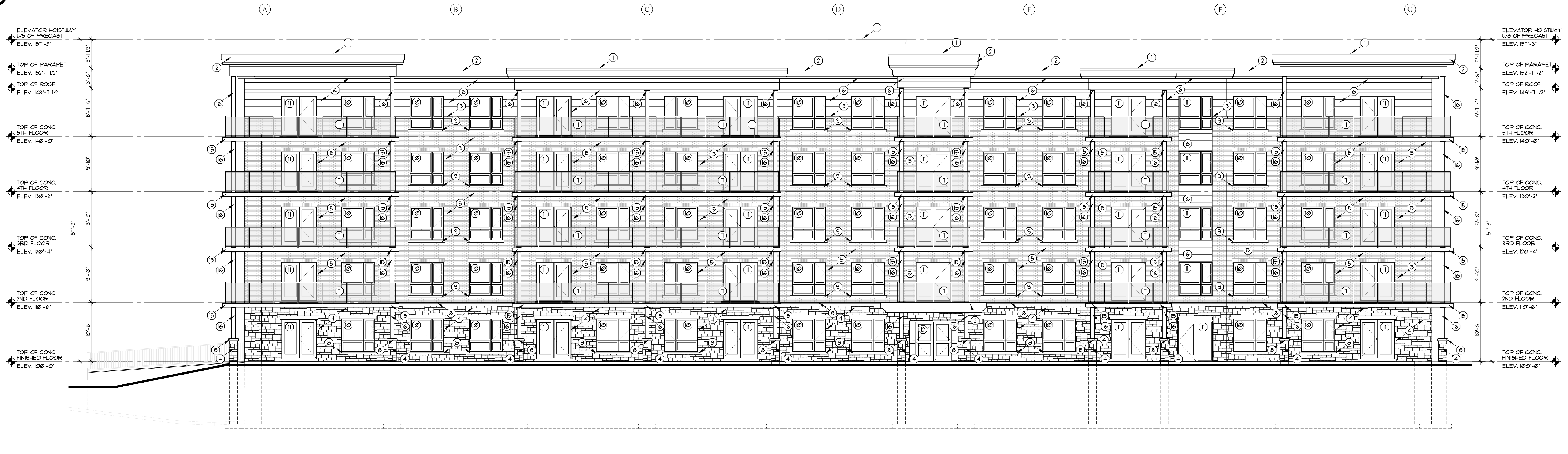
SITE PLAN

A1.1

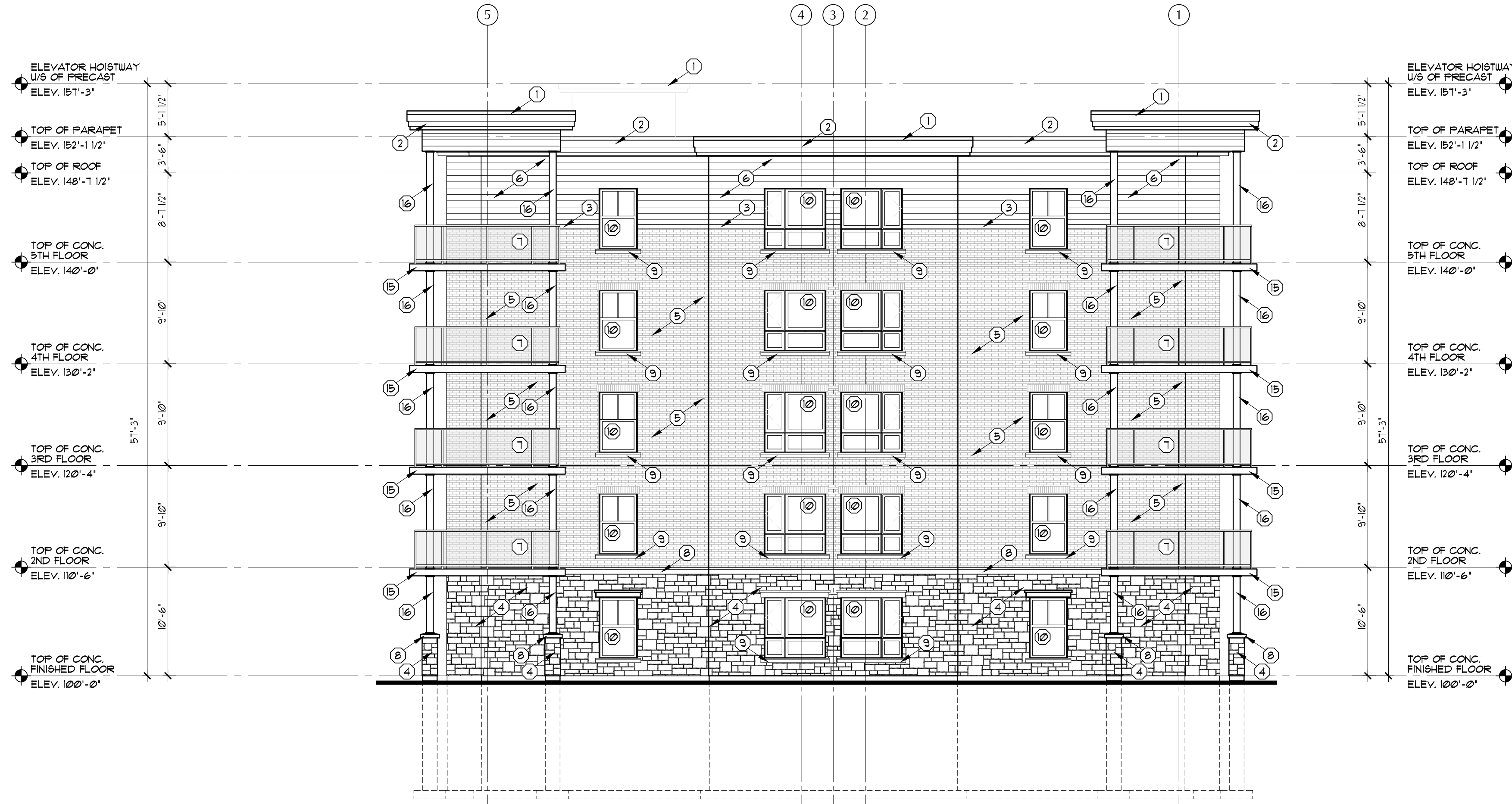
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Document 3 - Elevations

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SOUTH ELEVATION

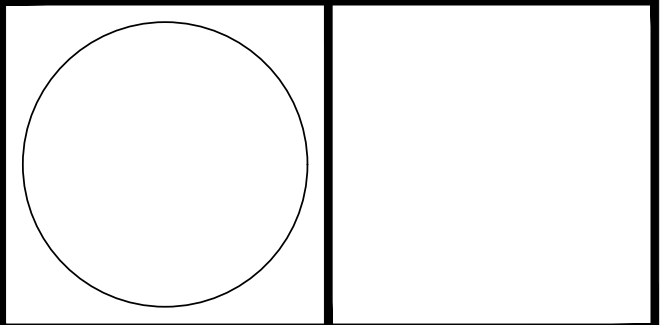


EAST ELEVATION

MATERIALS LEGEND

- 1 PREFINISHED METAL CAP FLASHING
COLOUR: DARK BROWN (TO MATCH EXISTING)
- 2 PREFINISHED METAL CLAD FASCIA
COLOUR: GREY (TO MATCH EXISTING)
- 3 PRECAST CONCRETE MASONRY BAND
COLOUR: LIGHT GREY
- 4 STONE VENEER
COLOUR: TAN (TO MATCH EXISTING)
- 5 BRICK VENEER
COLOUR: RED (TO MATCH EXISTING)
- 6 HORIZONTAL SIDING
COLOUR: DARK BROWN (TO MATCH EXISTING)
- 7 ALUMINUM GLAZED GUARD RAIL SYSTEM
GUARD TYPE: TOP MOUNT
COLOUR: DARK BROWN (TO MATCH EXISTING)
GLASS: TINTED TO MATCH EXISTING
- 8 PRECAST CONCRETE SILL
COLOUR: GREY (TO MATCH EXISTING)
- 9 PREFINISHED ALUMINUM CLAD WINDOW SILL
COLOUR: TAN (TO MATCH EXISTING)
- 10 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM WINDOW FRAMING.
COLOUR: TAN (TO MATCH EXISTING)
- 11 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM PATIO DOOR
COLOUR: TAN (TO MATCH EXISTING)
- 12 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN PREFINISHED EXTRUDED ALUMINUM ENTRANCE FRAMING C/W SEALED DOUBLE CLEAR GLAZED TRANSOM/SIDELITE
COLOUR: CLEAR ANODIZED ALUMINUM
- 13 INSULATED METAL SECTIONAL DRIVE-IN OVERHEAD DOOR
COLOUR: TAN (TO MATCH EXISTING)
- 14 ARCHITECTURAL INTAKE/EXHAUST LOUVER
COLOUR: TO MATCH ADJACENT FINISH
- 15 PRECAST CONCRETE BALCONY SLAB
COLOUR: STANDARD GREY
- 16 PREFINISHED ALUMINUM CLAD COLUMN
COLOUR: DARK BROWN (TO MATCH EXISTING)
- 17 PREFINISHED METAL THRU WALL SCUPPER
COLOUR: TO MATCH ADJACENT WALL PANEL
- 18 FIRE DEPARTMENT CONNECTION
- 19 FINISHED GRADE
(REFER TO CIVIL DUG. GRADING PLAN)
- 20 ADDRESS SIGNAGE
COLOUR: TBD
- 21 WALL MOUNTED LIGHT FIXTURE
(REFER TO ELECTRICAL DUGS)
- 22 CONCRETE FOUNDATION WALL
SANDBLASTED EXPOSED SURFACES (CLIENT DISCRETION)
- 23 CONCRETE FOOTING
(REFER TO STRUCTURAL DUGS)

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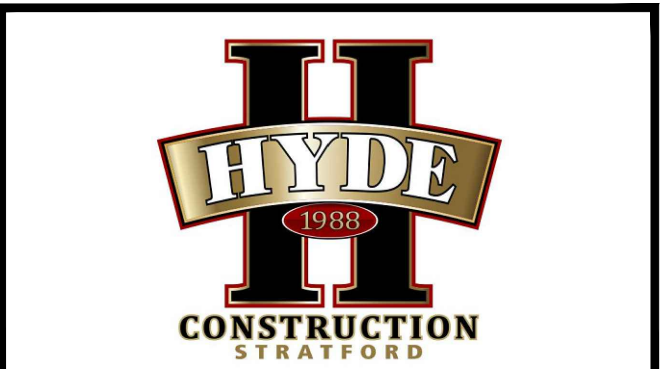


gb architect inc.
430 ONTARIO STREET
STRATFORD, ONTARIO, N5A 3J2
PHONE (519) 272 0073 FAX (519) 272 1433

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No.	DATE	REVISION



APARTMENT PROJECT
FOR HYOR HOLDINGS INC. - PHASE 3

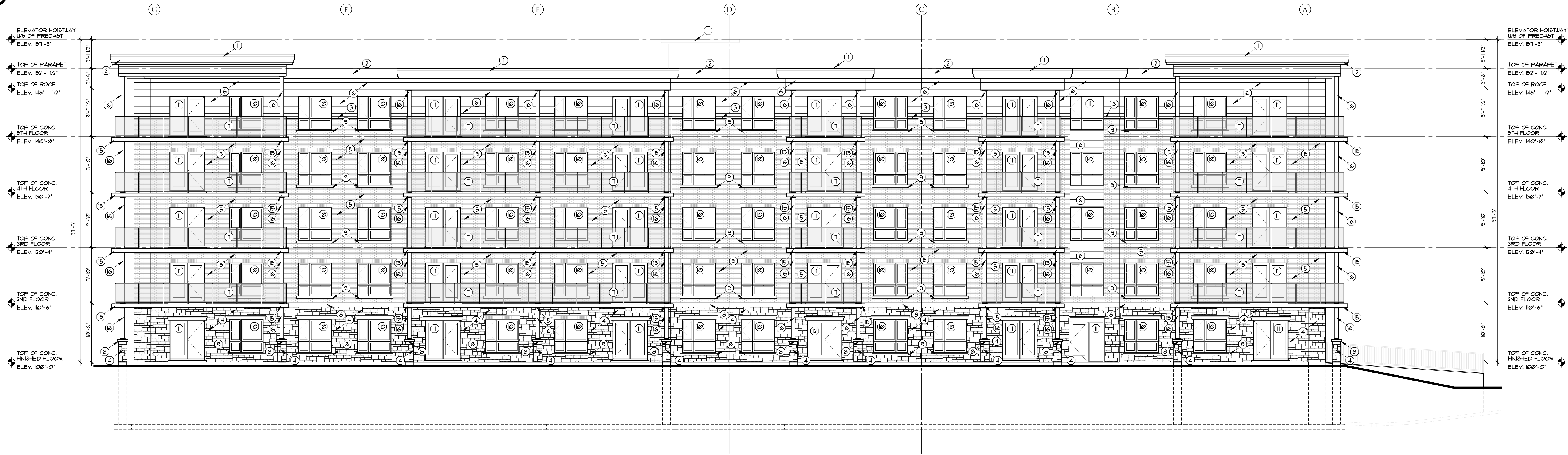
JACK CRESSENT ARNPRIOR, ONTARIO	
PRINT DATE:	June 26, 2024
DATE:	June 26, 2024
DRAWN BY:	MHW / ABM
CHECKED BY:	G.R.B.
SCALE:	1/8" = 1'-0"
PROJECT No.:	23-2245

SOUTH AND EAST
ELEVATIONS

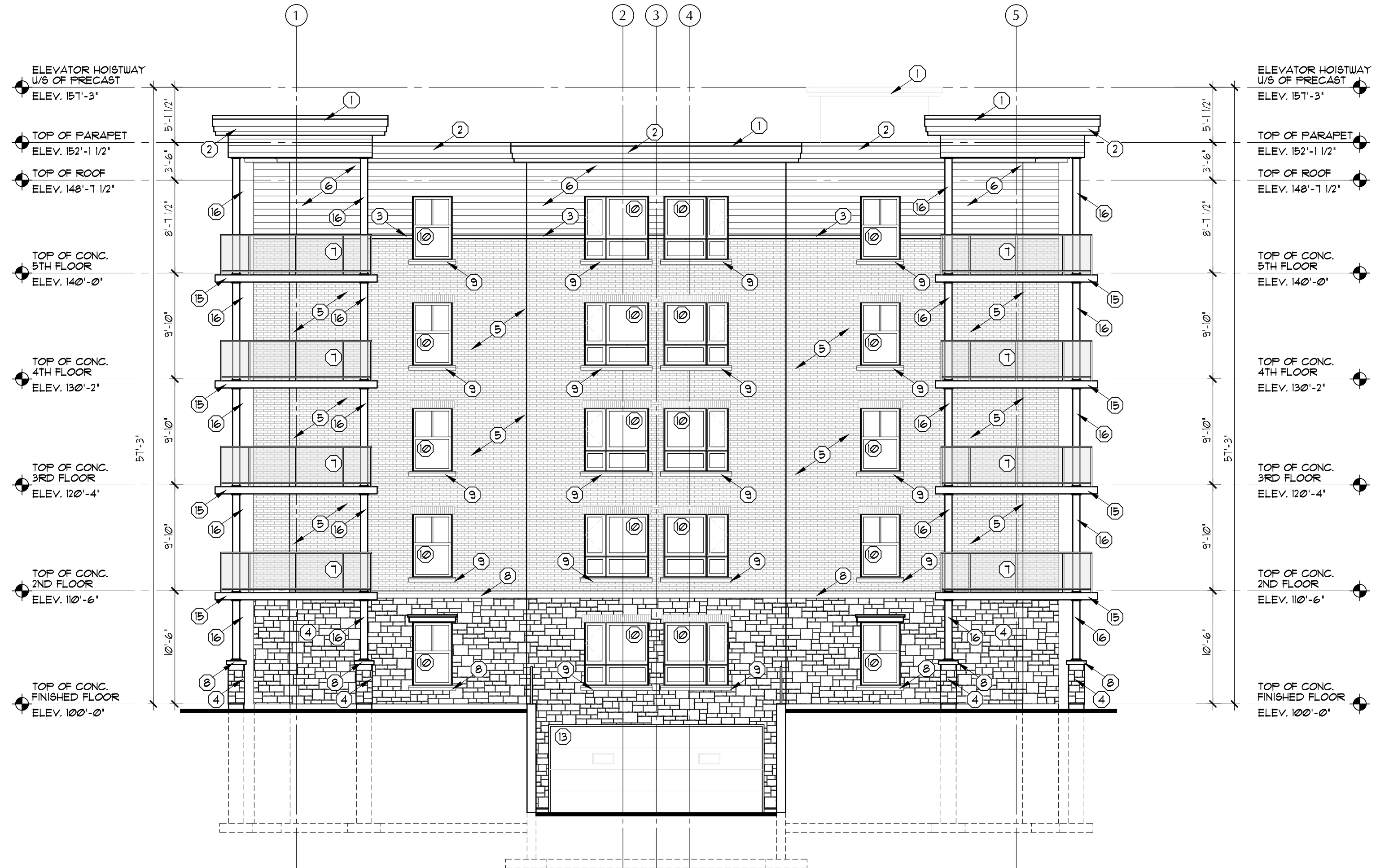
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NORTH ELEVATION

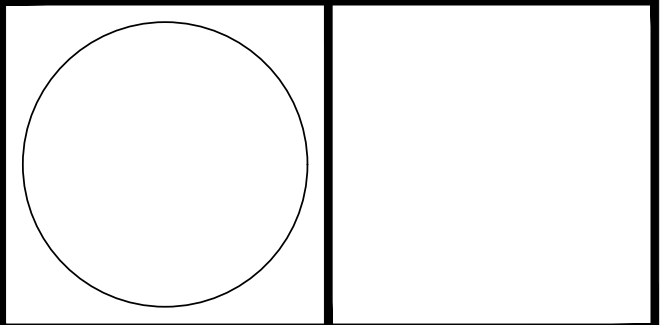


WEST ELEVATION

MATERIALS LEGEND

- | | | |
|---|--|---|
| 1 PREFINISHED METAL CAP FLASHING
COLOUR: DARK BROWN (TO MATCH EXISTING) | 8 PRECAST CONCRETE SILL
COLOUR: GREY (TO MATCH EXISTING) | 15 PRECAST CONCRETE BALCONY SLAB
COLOUR: STANDARD GREY |
| 2 PREFINISHED METAL CLAD FASCIA
COLOUR: GREY (TO MATCH EXISTING) | 9 PREFINISHED ALUMINUM CLAD WINDOW SILL
COLOUR: TAN (TO MATCH EXISTING) | 16 PREFINISHED ALUMINUM CLAD COLUMN
COLOUR: DARK BROWN (TO MATCH EXISTING) |
| 3 PRECAST CONCRETE MASONRY BAND
COLOUR: LIGHT GREY | 10 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM WINDOW FRAMING.
COLOUR: TAN (TO MATCH EXISTING) | 17 PREFINISHED METAL THRU WALL SCUPPER
COLOUR: TO MATCH ADJACENT WALL PANEL |
| 4 STONE VENEER
COLOUR: TAN (TO MATCH EXISTING) | 11 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM PATIO DOOR
COLOUR: TAN (TO MATCH EXISTING) | 18 FIRE DEPARTMENT CONNECTION |
| 5 BRICK VENEER
COLOUR: RED (TO MATCH EXISTING) | 12 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN PREFINISHED EXTRUDED ALUMINUM ENTRANCE FRAMING C/W SEALED DOUBLE CLEAR GLAZED TRANSOM/SIDELITE
COLOUR: CLEAR ANODIZED ALUMINUM | 19 FINISHED GRADE
(REFER TO CIVIL DUG. GRADING PLAN) |
| 6 HORIZONTAL SIDING
COLOUR: DARK BROWN (TO MATCH EXISTING) | 13 INSULATED METAL SECTIONAL DRIVE-IN OVERHEAD DOOR
GUARD TYPE: TOP MOUNT
COLOUR: TAN (TO MATCH EXISTING) | 20 ADDRESS SIGNAGE
COLOUR: TBD |
| 7 ALUMINUM GLAZED GUARD RAIL SYSTEM
GUARD TYPE: TOP MOUNT
COLOUR: DARK BROWN (TO MATCH EXISTING)
GLASS: TINTED TO MATCH EXISTING | 14 ARCHITECTURAL INTAKE/EXHAUST LOUVER
COLOUR: TO MATCH ADJACENT FINISH | 21 WALL MOUNTED LIGHT FIXTURE
(REFER TO ELECTRICAL DUGS.) |
| | | 22 CONCRETE FOUNDATION WALL
SANDBLASTED EXPOSED SURFACES (CLIENT DISCRETION) |
| | | 23 CONCRETE FOOTING
(REFER TO STRUCTURAL DUGS.) |

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No.	DATE	REVISION



APARTMENT PROJECT
FOR HYOR HOLDINGS INC. - PHASE 3

JACK CRESSENT ARNPRIOR, ONTARIO	
PRINT DATE:	June 26, 2024
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DRAWN BY:	MHW / ABM
CHECKED BY:	G.R.B.
SCALE:	1/8" = 1'-0"
PROJECT No.:	23-2245

NORTH AND WEST
ELEVATIONS

A4.2

gb

Document 4 – Zoning Brief submitted by the applicant

Jp2g No. 20-7022E

October 17, 2024

Town of Arnprior
105 Elgin Street West
Arnprior, ON, K7S 0A8

Attn Alix Jolicoeur, Manager of Community Services/Planner
ajolicoeur@arnprior.ca

**Re Application for Zoning By-law Amendment
Part Lot 3, Concession C, PIN 57312-0303
Part 1, Plan 49R-19701
Geographic Township of McNab, Now in the Town of Arnprior
Our File No. 20-7022E**

Dear Ms. Jolicoeur,

Jp2g Consultants Inc. has been retained by the owner of the above-noted property in respect of a Zoning By-law Amendment application to seek a reduction to the water setback and minimum number of required parking spaces to facilitate the construction of a five-storey residential apartment building abutting the Madawaska River in the Town of Arnprior. The application is also seeking relief from the maximum building height stipulated in the Mixed Use-Residential/Commercial Special Exception 26 (MU-RC*26) zoning applicable to the subject property and an amendment to permit the encroachment of easterly facing balconies into the required front yard setback. The letter includes a description of the subject lands and surrounding area, as well as an assessment of the application in accordance with the applicable provisions of the Provincial Policy Statement, 2020 (PPS), the County of Renfrew Official Plan, the local Official Plan for the Town of Arnprior, and the Town of Arnprior Zoning By-law No. 6875-18.

Site and Surrounding Context

The subject property, legally described as Part 1, Plan 49R-19701, is a vacant parcel of land affiliated with the Sawmill Flats apartment development located at the southwest corner of the intersection of Madawaska Boulevard and Jack Crescent in the Town of Arnprior. Map 1 shows the location of the subject site. The property is approximately 0.55 hectares in size with 45 metres of frontage on Jack Crescent and approximately 56 metres of irregular water frontage on the Madawaska River. Phase 1 and 2 of the Sawmill Flats development, which consists of two four-storey apartment buildings, comprising 59 units each, were completed in 2022 and 2023, respectively.

The Proposal

The subject zoning by-law amendment application will have the effect of facilitating Phase 3 of the development which envisions a five storey, 57-unit apartment building, with both surface-level and underground parking spaces. The proposed apartment building is to have a total gross floor area of 6,668.50 square metres and a height of 16.8 metres, consistent with the scale and design of the two preceding Sawmill



Ottawa
1150 Morrison Dr., #410
Ottawa, ON, K2H 8S9
T: 613-828-7800
Ottawa@jp2g.com

Pembroke
12 International Dr.
Pembroke, ON, K8A 6W5
T: 613-735-2507
Pembroke@jp2g.com

Arnprior
16 Edward St. S., #211
Arnprior, ON, K7S 3W4
T: 613-626-0780
Arnprior@jp2g.com

Flats apartment buildings, save and except for an additional one storey. A total of 68 parking spaces are proposed to support the development, comprising 39 standard surface spaces and 25 standard underground spaces, including 2 barrier free surface spaces and 2 barrier free underground spaces. Moreover, two retaining walls are proposed to be constructed towards the west half of the subject site, the outermost being adjacent to the twelve parking spaces abutting the Madawaska River, and the innermost being adjacent the ramp leading to the proposed underground parking garage (Map 2). The subject lands have direct access to municipal sanitary and water services and are to be developed on full municipal services.

Official Plan and Zoning

The subject site is designated “Mixed Use Residential Commercial Area (MURCA)” in the Town of Arnprior Official Plan. This designation permits the establishment of medium and high-density residential development. The subject lands are zoned Mixed Use Residential/Commercial Special Exception 26 (MU-RC*26) on Schedule “A” attached to Town of Arnprior Zoning By-law No. 6875-18. The MU-RC*26 zone is site-specific zoning that applies to the property, which provides one exception to the parent zoning: to permit a maximum building height of 15 metres.

Traffic Impact Study

A Traffic Impact Study (TIS) has been prepared by D.J. Halpenny & Associates Ltd. and is provided as a separate attachment in support of this proposal. The TIS was undertaken to assess the traffic impacts of the proposed Phase 3 development in terms of new proposed access to Jack Crescent, existing access to Madawaska Boulevard associated with Phases 1 and 2 of the development, and the traffic counts associated with the Jack/Madawaska intersection. The findings of the study concluded that:

“...There would be no intersection modifications required for the Jack/Madawaska intersection due to the addition of the Phase 3 site generated trips. The fire route is shown on the Site Plan and can be accommodated within the site. The fire route conforms to the access route requirements as stated in the Ontario Building Code. The layout of the site and aisles within the parking lot would provide an efficient movement of vehicles throughout the site with access to both Jack Crescent and Madawaska Boulevard.”

As submitted, the updated TIS concluded that no negative impacts on traffic or the existing intersection of Madawaska Boulevard/Jack Crescent would occur as a result of the proposed Phase 3 development.

Environmental Impact Study

An updated scoped Environmental Impact Study (EIS) has been prepared by Muncaster Environmental Planning Inc. and Jp2g Consultants Inc. in support of the reduction to the water setback on the subject lands. The EIS updated the original report submitted for Phases 1 and 2 of the lands in September of 2020, to include the findings from a supplemental field review performed in 2023 and to address the Phase 3 development proposal.

Amendments Requested

In order to permit the proposed development, four amendments to the provisions of the Town of Arnprior Zoning By-law are requested:

- a) Section 4.15.3 a) Water Setback (minimum)
 - Request: 4.86 metres to the closest point of a retaining wall, whereas 30 metres is required.
- b) MU-RC*26 Special Exception Zone Building Height (maximum)

- Request: 16.8 metres whereas 15 metres is required.
- c) Section 5.3 Residential Parking Requirements (minimum)
 - Request: 68 parking spaces whereas 71 are required.
- d) Section 6.4.10 Encroachments into Required Yards
 - Request: 1.25 m front yard setback encroachment for balconies facing east in a mixed-use zone, whereas balcony encroachment is only permitted in a residential zone.

Provincial Policy Statement, 2020 (PPS)

The PPS provides policy direction on matters of provincial interest related to land use planning and development. As a key part of Ontario's policy-led planning system, the PPS sets the policy foundation for regulating the development and use of land.

4.1 Healthy, Liveable and Safe Communities (Section 1.1.1)

Section 1.1.1 of the PPS states that healthy, liveable, and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- b) promoting the integration of land use planning, growth management, transit-supportive development, intensification, and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs.

The proposed development represents an underutilized, former brownfield site that is fully serviced by municipal infrastructure including water, sewers, and roads, and is in close proximity to the existing commercial core of downtown Arnprior. The development would represent an efficient redevelopment of a vacant site.

4.2 Settlement Areas (Section 1.1.3)

The subject lands are within a "Settlement Area," which is defined by the PPS as: "urban areas and rural Settlement Areas, and include cities, towns, villages and hamlets". The PPS further explains that Settlement Areas vary significantly in terms of size, density, population, economic activity, diversity and intensity of land uses, service levels, and types of infrastructure available. PPS policy 1.1.3.1 states that Settlement Areas shall be the focus of growth and development. Policy 1.1.3.2 provides the criteria for land use patterns within Settlement Areas. The proposed development is designed in accordance with the applicable policies in Section 1.1.3.2 as follows:

- a) The development represents an efficient use of land and resources.
- b) The development will efficiently use existing municipal infrastructure and will not require any expansion to the municipal infrastructure. The development can be adequately serviced with domestic water supply and sewage collection services.

Lastly, Policy 1.1.3.3 states that Planning authorities shall identify appropriate locations and promote opportunities for transit-supportive development, accommodating a significant supply and range of housing options through intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs. The proposal represents the third and final phase of the intensification and redevelopment of this former brownfield site, with available municipal infrastructure.

Town of Arnprior Official Plan

The Mixed Use Residential Commercial Area (MURCA) designation encourages the development of new medium and higher density residential apartment uses and permits a height of up to 6 storeys (C4.2, C4.3). The new proposed apartment building will be in keeping with the landscaping features and design of the existing two apartment buildings (Phase 1 & 2) associated with the Sawmill Flats development and will be five storeys in height, which is in keeping with the above policies of the Official Plan and is likewise not anticipated to have any shadowing or visual impact on the adjacent apartments and public areas. It is also worth noting that the proposed 5-storey residential apartment building is entirely in keeping with the immediate surrounding area, particularly the lands directly southwest of the lot which is occupied by two 5-storey residential apartment buildings.

Section D1.13 of the Official Plan provides the water setback policies that are applicable within the Town of Arnprior. Section D1.13 c) states that “for new lot creation, development, including the septic system tile bed, must be set back a minimum of 30 metres from the high-water mark of a watercourse with non-disturbance of the native soils and very limited removal of shoreline vegetation.”

It is recognized that the proposed two retaining walls will be located within the 30-metre water setback from the Madawaska River. However, the proposed location of the new apartment building itself will be set back 33.7 metres from the Madawaska River, demonstrating compliance with the intent of the above policy. Moreover, due to the existing constraints of the lot size, and orientation of the river it is not possible for the two retaining walls to be located outside of the 30-metre setback in its entirety, though the vast majority of each respective retaining wall will be located well beyond the minimum 4.86 metre setback as requested. Site plan controls are to be implemented as part of Phase 3 of the development plan to ensure that surface drainage on the site will be directed and treated to mitigate any potential adverse impact on the Madawaska River.

Moreover, the proposed development will contribute to positive future growth of the community and help the Town meet its intensification targets set out in the Official Plan. It is widely known that Ontario continues to experience strong population growth, which has increased the demand and pressure to build more housing, and in particular, affordable housing and rental units. The proposed apartment building will serve to increase housing supply, particularly with respect to rental housing, in the Town of Arnprior.

For these reasons, it is in our professional opinion that the proposed zoning by-law amendment complies with the relevant policies of the Official Plan for the Town of Arnprior.

Town of Arnprior Zoning By-law

The Mixed Use Residential/Commercial (MU-CE) Zone implements the policies of the MURCA designation in the Town’s Official Plan and similarly permits higher density residential development. In terms of the request to reduce the 30-metre water setback, it is recognized that the proposed Phase 3 apartment building will be located entirely outside of the required 30-metre setback and that the retaining walls will be the only structures located within the water yard. Further, the requested setback of 4.86 metres will only be required for a small portion of the outermost retaining wall, while the remainder of the wall will increase to a setback of approximately 26.7 metres from the Madawaska River as it continues north on the property (Figure 1).

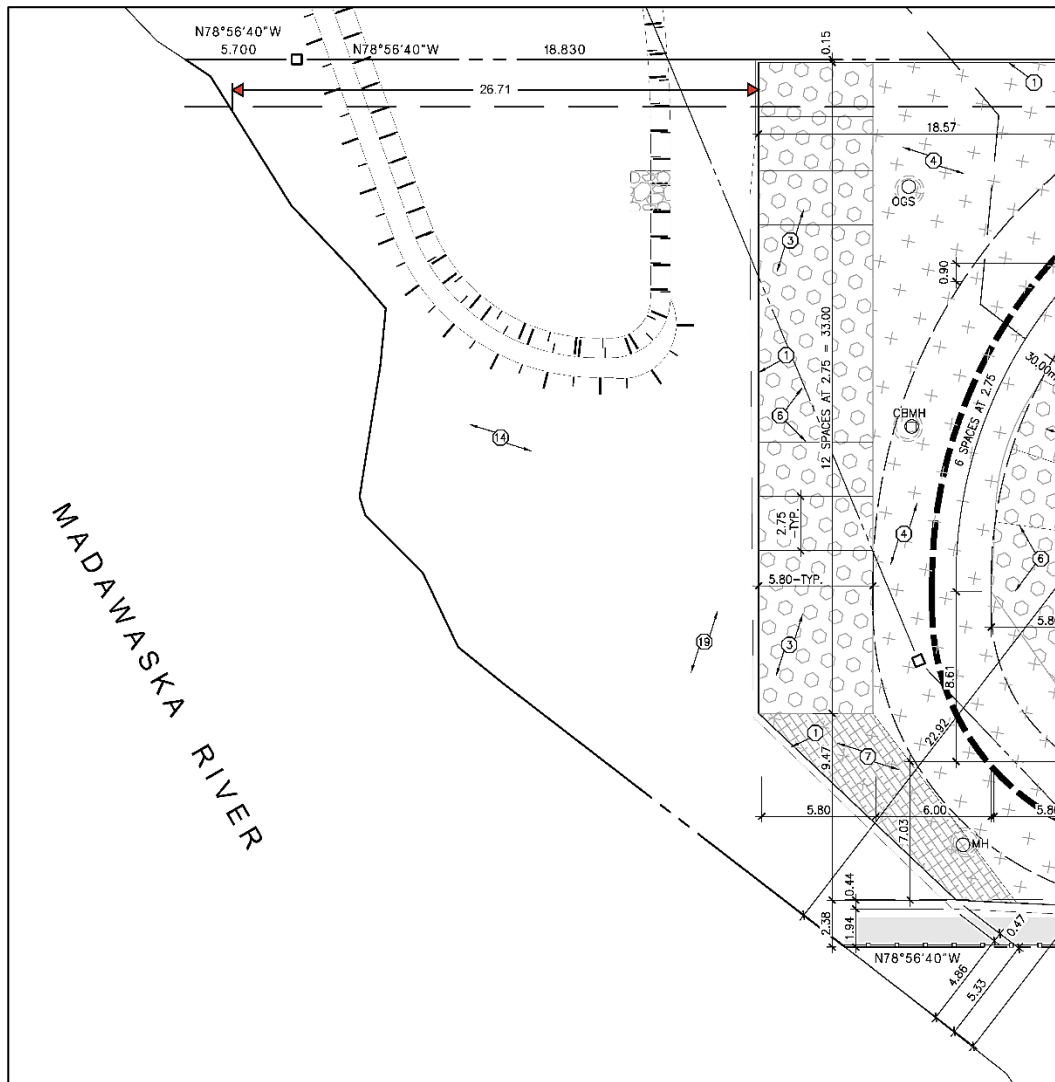


Figure 1 – The outermost retaining wall will continue to increase setbacks from 4.86 metres to approximately 26.7 metres from the Madawaska River as it moves north on the property.

An EIS was completed to consider the potential impacts of the proposed retaining wall within the 30-metre water setback. The EIS drew the following conclusion:

...“This Environmental Impact Study concludes that the proposed Phase 3 apartment development will avoid negative impacts, as defined in the Provincial Policy Statement, on significant natural heritage features and functions, including the Madawaska River and the environment in general provided the important mitigation and avoidance measures identified in this EIS are properly implemented.”

As noted above, the EIS recommends a number of mitigation measures and best practices that will alleviate the potential impacts of the proposed retaining wall. A site plan agreement will ensure appropriate implementation of the listed mitigation measures.

In regard to the request to reduce the applicable residential parking provision, it is demonstrated on the site plan that the property will establish as much parking as feasible on the lot, inclusive of an underground parking

garage, to support the new development, while balancing the required water setbacks. It has been demonstrated in Phases 1 and 2 that the provision of parking at the standard Zoning By-law rate has resulted in an over-provision in parking and the shortfall of three spaces will not have any impact on the ability of the third building to provide ample parking for all future residents. Should the need arise, there is the option for shared parking resources between Phases 1, 2 and 3.

With respect to the increased building height, the Phase 3 development will maintain the size, scale, and characteristics of the preceding two buildings from Phases 1 and 2, save and except for one additional floor that represents the highest and best use of the property without exceeding maximum density permissions and height limitations of the Official Plan. Furthermore, given the surrounding high density residential development associated with the already-constructed apartment buildings as part of Phases 1 and 2, in addition to the five-storey retirement residence that exists immediately south of the property, it is our professional opinion that the increased height of 1.8 metres represents a modest increase and will be imperceptible from the public realm. The proposed Phase 3 apartment building will otherwise achieve all other side, rear, and front yard setbacks as required in the Zoning By-law.

Conclusions and Recommendations

The proposed application for Zoning By-law Amendment has been reviewed against the policies contained in the PPS, the Town of Arnprior Official Plan and the standards in the Town of Arnprior Comprehensive Zoning Bylaw. Based on the analysis contained in this letter, it is our opinion that the subject application constitutes good planning and should be approved.

Yours truly,

Jp2g Consultants Inc.



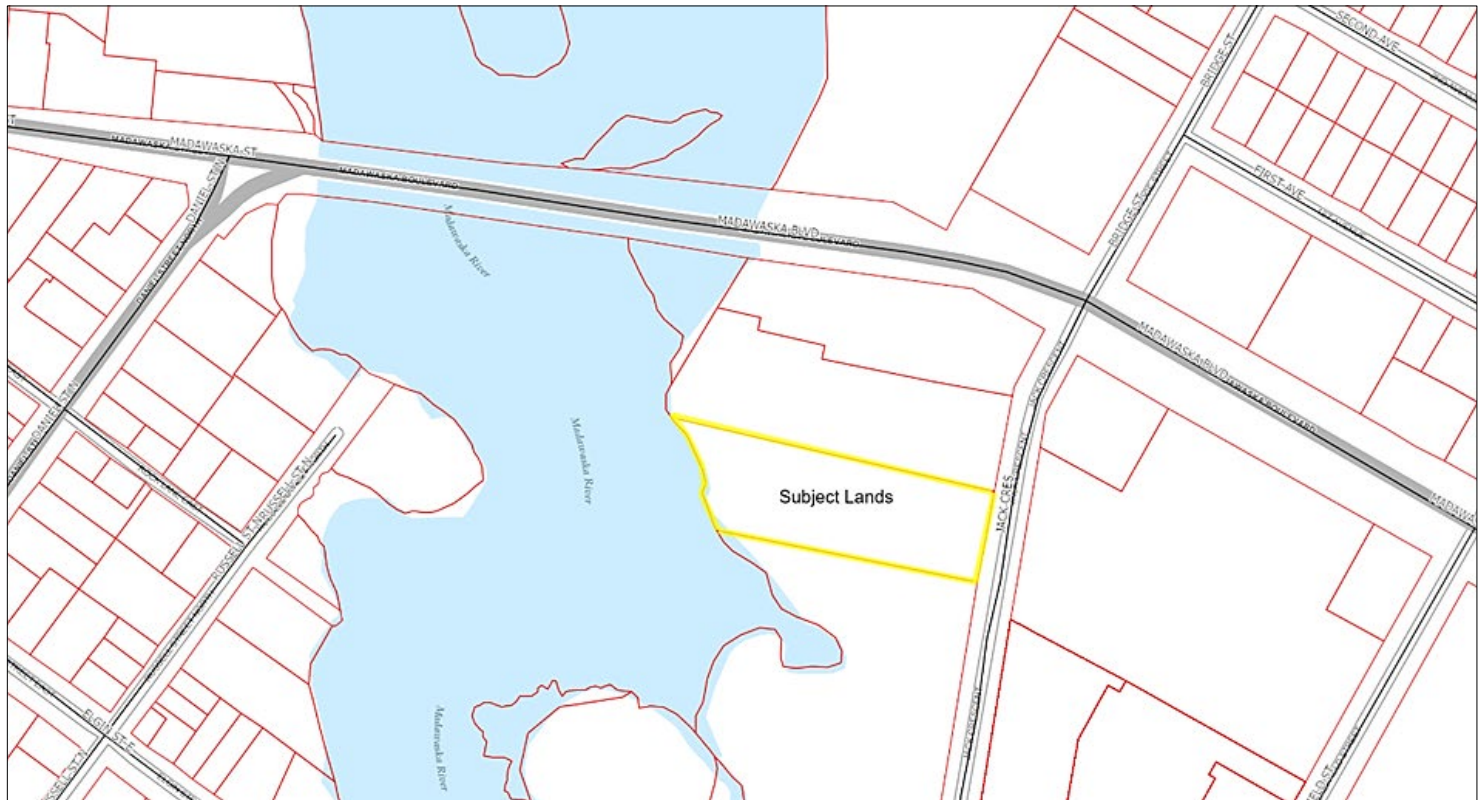
Janine Cik, B.A. (Hons)
Junior Planner



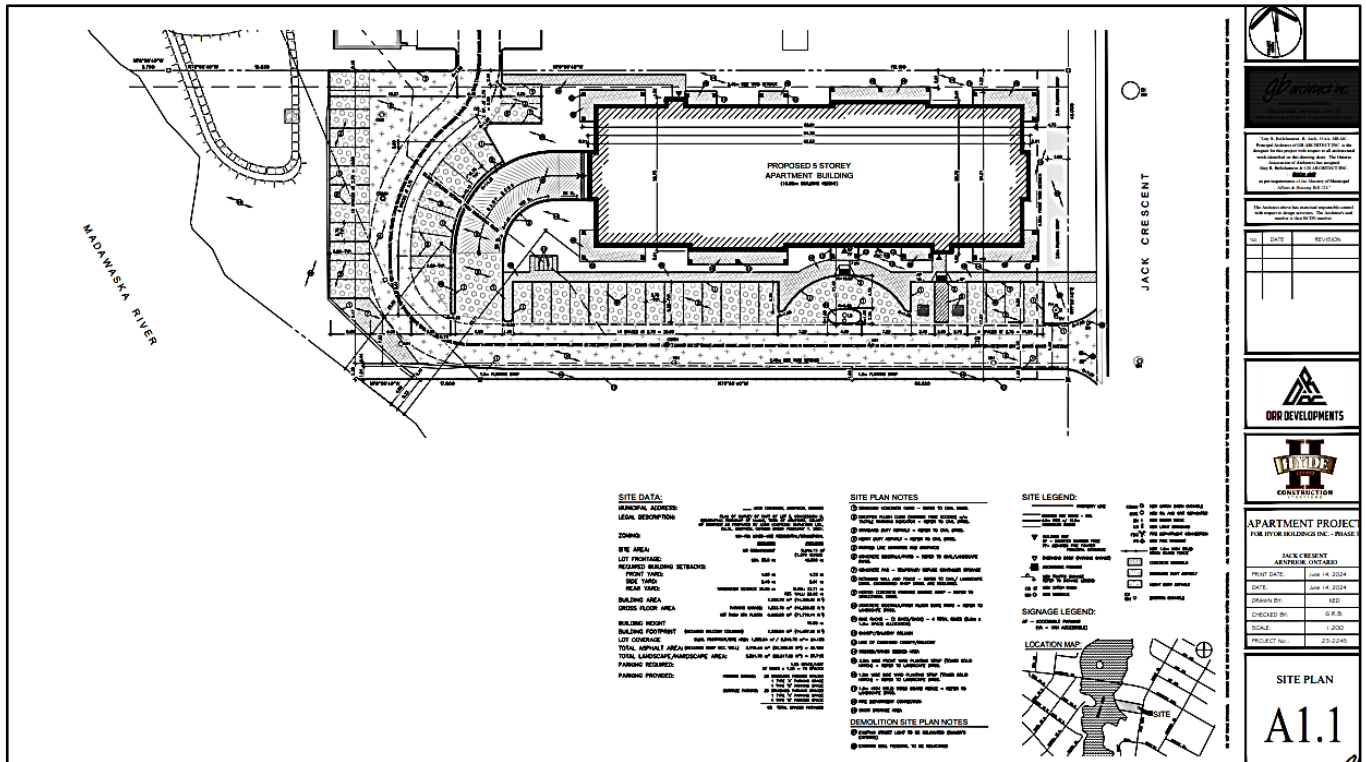
Forbes Symon, MCIP, RPP
Senior Planner

cc Hyor Holdings, Client

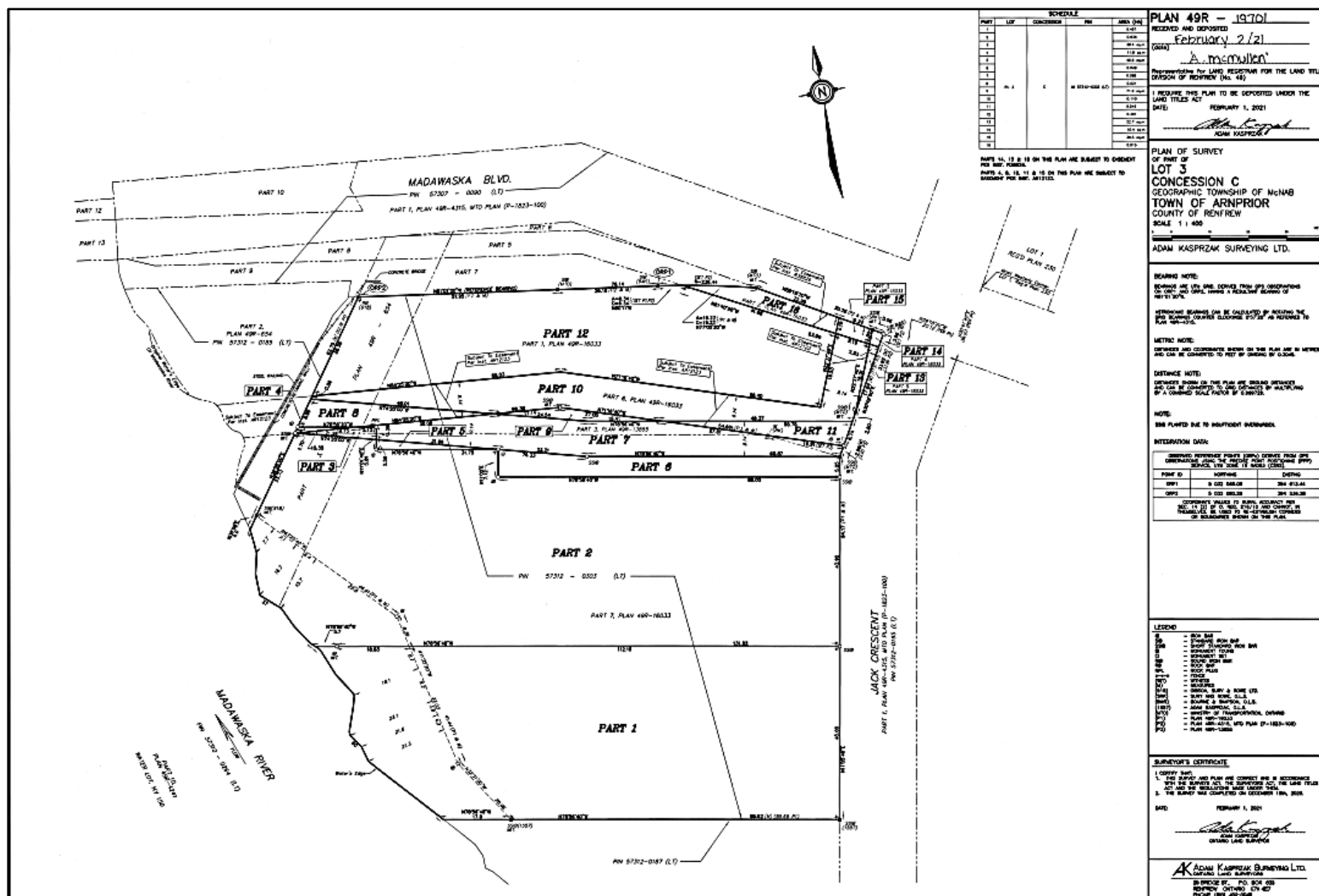
Map 1: Key Map



Map 2: Site Plan



Map 3: Property Survey





Town of Arnprior Staff Report

Subject: Gaumond Bequest Project Application – Arnprior & District Humane Society Flood Remediation

Report Number: 25-04-14-04

Report Author and Position Title: Kaila Zamojski, Town Clerk

Department: Client Services

Meeting Date: April 14, 2025

Recommendations:

That Council approves a funding request from the Arnprior & District Humane Society in the amount of \$5,640.00 from the JA Gaumond Animal Control Centre Reserve Fund to assist with recent flood remediation work at the Animal Shelter, located at 490 Didak Drive, Arnprior, ON.

Background:

The Arnprior and District Humane Society (Humane Society) operates an animal shelter located on Didak Drive. The Humane Society is a no-kill shelter that takes in animals from Arnprior and the surrounding area. It is a non-profit organization supported by many fundraising events, corporate sponsors, bequests, cash donations, and in-kind services.

Since the late 1990's the Humane Society has acted as Pound Keeper for the Town in accordance with the provisions of the Town of Arnprior's By-laws. The Society is required to operate and maintain the pound in accordance with the standards set by the Society, as well as all applicable provincial legislation.

The Town of Arnprior was bequeathed \$125,290 by the late Col. J. Gaumond for the care and control of animals. The current balance in the JA Gaumond Animal Control Centre Reserve Fund is \$50,018. In 2008, Council adopted a Gaumond Bequest Project Criteria Policy to ensure that the JA Gaumond Animal Control Centre Reserve Fund is allocated to specific capital projects that benefit charitable, non-profit animal control centers in Arnprior on a long-term basis.

Discussion:

The Arnprior & District Humane Society requires Council approval in order to utilize the funding from the JA Gaumond Animal Control Centre Reserve Fund for contributions indicated in this report.

The Arnprior & District Humane Society has recently experienced an unexpected flood which required immediate action to prevent severe health issues (mold) and in order to continue their operations. Unfortunately, the damage sustained by the flooding was not covered by their insurance policy. The Humane Society did seek to obtain three quotes for the work to be completed. They chose the contractor which had extensive experience, also was the same or lower of the contractors that provided quote information.

This was an unexpected and unfortunate expense that came up for the Humane Society and required quick action. The Humane Society has completed this work, and in this case are asking for funding to cover this unexpected capital cost of \$5,640.00.

To date the Arnprior & District Humane Society has received \$94,741.99 from the JA Gaumond Animal Control Centre Reserve Fund toward specific projects that will benefit Arnprior's Charitable Non-Profit Animal Control Centre on a long-term basis.

Date	Project Description	Amount
June 2009	Construction of Outbuilding	\$9,333.00
August 2009	Fence Replacement	\$6,214.91
September 2009	Installation of Ventilation System	\$15,376.13
September 2009	Construction of Outdoor Dog Kennels	\$5,050.00
March 2010	Interior Wiring Replacement	\$6,050.00
September 2010	Sterilizable Surfaces	\$5,367.00
November 2011	Grade, Pave and Undertake Septic Repairs	\$2,454.21
October 2013	Heating System and Air Conditioner	\$10,000.00
August 2015	Improvements to the Animal Shelter	\$10,850.34
November 2015	Replace Septic Tank	\$15,820.00
December 2019	Replace Shingles on Roof	\$8,226.40
Total:		\$94,741.99

Options:

Options for Council consideration include:

1. Approve the funding request in the amount of \$5,640.00 to reimburse the flood remediation costs.
2. Approve the funding request at less than 100% of what was requested.
3. Not approve the funding request.

Staff are recommending supporting this request in its entirety, Option 1.

Policy Considerations:

The application meets the intent of the Gaumond Bequest Project Criteria Policy, the Reserve and Reserve Funds Policy. It also shows the Town provides effective service delivery as well as fostering community wellbeing, as indicated in the Town's Strategic Plan, through supporting organizations like these in our community.

Financial Considerations:

The total cost of the project identified in this report is \$5,640.00. The requested funding is for 100% of the total project cost. The current balance in the JA Gaumond Animal Control Centre Reserve Fund prior to this expenditure are \$50,018. This reserve fund does earn interest annually which is why the current balance is greater than the original bequeath less previously issued funds.

Meeting Dates:

N/A

Consultation:

N/A

Documents:

1. Gaumond Bequest Funding Application from Arnprior & District Humane Society

Signatures

Reviewed by Department Head: Jennifer Morawiec

Reviewed by General Manager, Client Services/Treasurer: Jennifer Morawiec

CAO Concurrence: Robin Paquette

Workflow Certified by Town Clerk: Kaila Zamojski

GAUMOND BEQUEST FUNDING APPLICATION

Applicant's Name	ARNPRIOR & DISTRICT HUMANE SOCIETY		
Address	490 DIDAK DR, ARNPRIOR, ON K7S 0C3		
Project Name	FLOOD REMEDIATION		
Project Location	490 DIDAK DR, ARNPRIOR, ON K7S 0C3		
Project Description	Remediation following a flood at the shelter on March 16, 2025. Removal and disposal of all affected building material, install dehumidifiers for mold mitigation, Thermal mapping & moisture measurements. Clean and disinfect all damaged surfaces, install containment and HEPA certified negative air units to limit contamination throughout the building.		
Short / Long Term Benefits	Prevention of mold formation, which would affect both staff and animals in our care, required immediate remediation. This action will provide an effectively safe environment during which time we will make further improvements with the objective of preventing similar floods in the future.		
Other source of funding		\$	%
Other source of funding		\$	%
Funding requested <small>(if the applicant is requesting 100% funding, a rationale shall be provided)</small>		\$ 5640.00	% 100
Total project Cost		\$ 5640.00	= 100%
Impact on Operating Cost	This was a totally unexpected expense which will directly impact our bottom line.		
Proposed Start Date	March 24, 2025	Proposed Completion Date	March 28, 2025

Rationale (if requesting 100% funding): This was an unexpected expense and required immediate action to prevent severe health issues [mold]. Unfortunately, the damage was not covered by our insurance policy. We are funded 100% by donations from the public.


 AUTHORIZED SIGNATURE

March 27, 2025

DATE

ServiceMASTER
Restore

Preliminary Report

Date: 2025-03-17

Project Manager: Joshua Giff

Client Details

Name: Humane Society Animal Shelter

Address: 490 Didak Dr Arnprior Ont K7S 3G7

Evening Phone:

613-623-0916

Mobile Phone:

613-623-0916

Email: adhs.treasure@gmail.com

Property/Structure/Rooms Affected

All rooms within excluding furnace room.

Cause of Loss/Damages

High levels of rain and ice and snow melting.

Required For Repairs

Removing and replacing drywall at 2 feet, potentially removal of vct on floors, doors and door frames affected.

Emergency Services Performed

None as they are awaiting coverage.

Equipment Left on Site

None as they are awaiting coverage

Initial Moisture Readings

Affected Area:	TA,	% Humidity	Non Affected Area:	TA,	% Humidity
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Emergency Reserve: 15 000- 18 000

Repair Reserve: 20 000-25 000

Contents Reserve: N/A

ServiceMaster

256 Hwy 15 Smiths Falls, ON K7A 4T4

ENVIROPURE ENVIRONMENTAL GROUP

103-2710 Lancaster Road
Ottawa ON K1B 4W8
Info@EnviropureHome.com
GST/HST Registration No.:
752490136RT0001



Estimate

ADDRESS

Arnprior Humane Society
Arnprior Humane Society
490 Didak Dr
Arnprior ON K7S3G7

SHIP TO

Arnprior Humane Society
Arnprior Humane Society
490 Didak Dr
Arnprior ON K7S3G7

ESTIMATE # 1466**DATE 21/03/2025**

DATE		DESCRIPTION	TAX	QTY	RATE	AMOUNT
21/03/2025	Water Damage Service	-Removal & Disposal of Affected Building Material/Trim -Install Drying Equipment & Dehumidifiers To Help Mitigate Mold Growth -Thermal Mapping & Moisture Measurement + Documentation -Clean & Disinfect Surfaces Under Damaged Building Materials -Install Containments & HEPA Certified Negative Air Units To Limit Contamination Throughout The Home	HST ON	1	5,640.00	5,640.00

To accept this estimate, please contact your Project Manager.

SUBTOTAL

5,640.00

Thank you for your consideration and we look forward to working with you!

HST (ON) @ 13%

733.20

TOTAL**\$6,373.20****TAX SUMMARY**

	RATE	TAX	NET
HST (ON) @ 13%		733.20	5,640.00

Accepted By

Accepted Date

Please send E-transfers to: accounting@enviropurehome.com
Include Invoice Number Please

From: [Arnprior Humane Society \[Treasurer\]](#)
To: [Kaila Zamojski](#); "
Cc: [Jennifer Morawiec](#); [Robin Paquette](#)
Subject: Gaumond Bequest Funding Policy and Application Form
Date: April 1, 2025 8:26:10 AM
Attachments: [image005.png](#)
[image006.png](#)
[Flood Remediation Application - March 2025.pdf](#)

Kaila,

Please find attached our Application to the Gaumond Fund regarding the immediate remediation work we had to undertake as the result of a flood on March 16, 2025.

We are attaching the Application Form, the estimate from Enviropure [who were awarded the contract] and the initial report from Service Master Restore who were requested by the Insurance company to make a Preliminary Report.

Unfortunately, we have been unable to obtain written estimates for the remediation work from either of the other 2 companies from whom we requested them. They were Evan O'Dwyer [613-853-2193] who quoted \$3,000 - \$6,000 and Service Master who quoted \$10,000+. We chose Enviropure because they came highly recommended and had several years of experience.

Thank you for considering our Application.

S
Sandi Skinner-Corbin
Secretary-Treasurer
Arnprior & District Humane Society
490 Didak Drive, Arnprior, ON, K7S 0C3
e-mail: ADHS.treasurer@gmail.com
Tel: 613-623-0916



Town of Arnprior Staff Report

Subject: Proclamation for National AccessAbility Week (May 25th – 31st 2025)

Report Number: 25-04-14-05

Report Author and Position Title: Kaitlyn Wendland, Client Services Coordinator

Department: Client Services

Meeting Date: April 14th, 2025

Recommendations:

That Council proclaim May 25th to May 31st, 2025 as National AccessAbility Week in the Town of Arnprior.

Background:

The proclamation was provided to the Accessibility and Age Friendly Advisory Committee for their review. Their feedback has been incorporated.

Assessment of the Proclamation Request from the Town of Arnprior Proclamations Policy No. ADMIN-C-2.05

Section 5.1 – Charitable or Non-Profit Organization	Yes
Section 5.2 – Request received two (2) weeks prior to the event	Yes
Section 5.2.1 – Name and Address of Organization	Easter Seals Canada 40 Holly St., Suite 401 Toronto, ON M4S 3C3 (416) 932-8382 & Government of Canada
Section 5.2.2 – Contact Person's Name	Sarah Tait Town of Arnprior, Accessibility and Age Friendly Advisory Committee Member
Section 5.2.3 – Name of Proclamation and Duration	National AccessAbility Week May 25 th – May 31 st , 2025



**Assessment of the Proclamation Request from the Town of Arnprior
Proclamations Policy No. ADMIN-C-2.05**

Section 5.2.4 – Appropriate Wording for Proclamation	Yes
Section 5.2.5 – Request Flag to be flown/ flag raising ceremony	No (Request to change the Arnprior and District Museum clock tower lights to be red on May 25th, 2025 to May 31 st , 2025)
Section 5.3.1 – Does not promote any commercial business	Complies
Section 5.3.2 – Does not promote hatred or illegal activity	Complies
Section 5.3.3 – Does not contain inappropriate statements	Complies

Documents:

1. Proclamation Document – National AccessAbility Week 2025

Signatures

Reviewed by Department Head: Jennifer Morawiec

Reviewed by General Manager, Client Services/Treasurer: Jennifer Morawiec

CAO Concurrence: Robin Paquette

Workflow Certified by Town Clerk: Kaila Zamojski



Town of Arnprior Proclamation National AccessAbility Week May 25th to May 31st, 2025

Whereas the Government of Canada marks National AccessAbility Week from May 25th, 2025 to May 31st, 2025 in Canada; and

Whereas as a part of National AccessAbility Week, Red Shirt Day of Action for Accessibility and Inclusion, as promoted by Easter Seals Canada, is recognized on May 28th, 2025; and

Whereas over 8 million Canadians have one or more disabilities, including 2.6 million people in Ontario and 90% of Canadians believe people with disabilities are not fully included in society; and

Whereas National AccessAbility Week aims to improve the understanding and knowledge of Canadians about accessibility and inclusion, reduce stigma and attitudinal barriers towards persons with disabilities, share best practices and lessons learned within the disability community, and demonstrate a supportive voice for Canadians with disabilities; and

Whereas disability accessibility and inclusion does not end with this awareness week, and in order to make Canada a truly accessible and inclusive society, it requires the constant, year-round commitment and efforts of all Canadians to take action to increase accessibility and inclusion; and

Whereas this year Easter Seals is encouraging people to participate in National AccessAbility Week and Red Shirt Day by making a pledge and committing to take action to remove physical, attitudinal and systemic barriers to accessibility and inclusion in their school, workplace, and community; and

Whereas, as requested by the Arnprior Accessibility and Age Friendly Advisory Committee, the Town of Arnprior will be sharing this proclamation with the schools in our community and online and the Arnprior and District Museum's clock tower will be lit up with the colour red from May 25th, 2025 to May 31st, 2025 to show our support.

Now Therefore Be it Resolved That, I, Lisa McGee, Mayor of Arnprior, do hereby proclaim May 25th to May 31st, 2025, as National AccessAbility Week in the Town of Arnprior and encourage all residents to learn more about Accessibility and Inclusion, wear a red shirt on May 28th, 2025, and help promote awareness, acceptance and inclusivity in our community.

**Lisa McGee, Mayor
Town of Arnprior**



Town of Arnprior Staff Report

Subject: Proclamation for Earth Day (April 22, 2025)

Report Number: 25-04-14-06

Report Author and Position Title: Kaitlyn Wendland, Client Services Coordinator

Department: Client Services

Meeting Date: April 14th, 2025

Recommendations:

That Council proclaim April 22, 2025 as Earth Day in the Town of Arnprior.

Background:

Assessment of the Proclamation Request from the Town of Arnprior Proclamations Policy No. ADMIN-C-2.05

Section 5.1 – Charitable or Non-Profit Organization	Yes
Section 5.2 – Request received two (2) weeks prior to the event	Yes
Section 5.2.1 – Name and Address of Organization	Town of Arnprior 105 Elgin Street West Arnprior, Ontario, Canada K7S 0A8 www.earthday.org
Section 5.2.2 – Contact Person's Name	Jess Schultz Acting Environmental Engineering Officer
Section 5.2.3 – Name of Proclamation and Duration	Earth Day April 22 nd , 2025

**Assessment of the Proclamation Request from the Town of Arnprior
Proclamations Policy No. ADMIN-C-2.05**

Section 5.2.4 – Appropriate Wording for Proclamation	Yes
Section 5.2.5 – Request Flag to be flown/ flag raising ceremony	No
Section 5.3.1 – Does not promote any commercial business	Complies
Section 5.3.2 – Does not promote hatred or illegal activity	Complies
Section 5.3.3 – Does not contain inappropriate statements	Complies

Documents:

1. Proclamation Document – Earth Day (April 22nd, 2025)

Signatures

Reviewed by Department Head: Jennifer Morawiec

Reviewed by General Manager, Client Services/Treasurer: Jennifer Morawiec

CAO Concurrence: Robin Paquette

Workflow Certified by Town Clerk: Kaila Zamojski



**Town of Arnprior Proclamation
Earth Day
April 22nd, 2025**

Whereas Earth Day is celebrated on April 22nd each year, and is a key time to unite our community and make a positive impact on the environment; and

Whereas Earth Day is known as the movement to change the business climate, political climate, and how we take action on climate change; and

Whereas climate change is being observed and experienced at an increasingly local level and needs to be taken seriously; and

Whereas local levels of government are finding themselves at the frontline of the battle against climate change; and

Whereas the mounting environmental challenges that we are facing will require our towns and cities to take a leading role in the fight for a more sustainable world; and

Whereas the Town of Arnprior's Environmental Advisory Committee will be launching a webpage on the Town's website dedicated to providing residents with environmental information; and

Whereas the community, along with members of our Environmental Advisory Committee, will be hosting "The Great Arnprior Trash Hunt" on April 26th, 2025, from 9am to 12pm starting at the Arnprior and District Museum; and

Whereas the Town of Arnprior will be providing free park clean-up kits to local residents, that can be picked up at the Nick Smith Centre while supplies last, to use in local parks during the week of April 21st to 27th, 2025 (Pitch-In Canada Week); and

Whereas a Repair Café will be hosted at the Arnprior and District Museum on Saturday, April 19th, 2025 from 2:00pm – 4:00pm to assist residents in repairing textile items to reduce waste going to the landfill; and

Whereas a free virtual workshop will be hosted by the Town on Tuesday, April 29th from 7:00pm – 8:00pm entitled, "Saving Money and the Environment: it starts at home".

Now Therefore, I, Lisa McGee, Mayor of Arnprior, do hereby proclaim April 22nd, 2025, as Earth Day in the Town of Arnprior, and encourage all residents to participate in the Earth Day activities being provided, learn more and understand their role in assisting to combat climate change, as well as make a positive impact on the environment on Earth Day and every day.

**Lisa McGee, Mayor
Town of Arnprior**



Town of Arnprior Staff Report

Subject: Proclamation for Community Living Month (May 2025)

Report Number: 25-04-14-07

Report Author and Position Title: Kaitlyn Wendland, Client Services Coordinator

Department: Client Services

Meeting Date: April 14th, 2025

Recommendations:

That Council proclaim May 2025 as Community Living Month in the Town of Arnprior.

Background:

Assessment of the Proclamation Request from the Town of Arnprior Proclamations Policy No. ADMIN-C-2.05

Section 5.1 – Charitable or Non-Profit Organization	Yes
Section 5.2 – Request received two (2) weeks prior to the event	Yes
Section 5.2.1 – Name and Address of Organization	Community Living Renfrew County South 100-106 McGonigal Street West Arnprior, Ontario, Canada K7S 1M4
Section 5.2.2 – Contact Person's Name	Jennifer Lavallee Executive Director
Section 5.2.3 – Name of Proclamation and Duration	Community Living Month May 2025
Section 5.2.4 – Appropriate Wording for Proclamation	Yes

**Assessment of the Proclamation Request from the Town of Arnprior
Proclamations Policy No. ADMIN-C-2.05**

Section 5.2.5 – Request Flag to be flown/ flag raising ceremony	Yes – Raise the Community Living flag on May 1 st through May 8 th and change the Arnprior and District Museum clock tower lights to alternate between blue and green on May 1 st , 2025.
Section 5.3.1 – Does not promote any commercial business	Complies
Section 5.3.2 – Does not promote hatred or illegal activity	Complies
Section 5.3.3 – Does not contain inappropriate statements	Complies

Documents:

1. Proclamation Document – Community Living Month (May 2025)

Signatures

Reviewed by Department Head: Jennifer Morawiec

Reviewed by General Manager, Client Services/Treasurer: Jennifer Morawiec

CAO Concurrence: Robin Paquette

Workflow Certified by Town Clerk: Kaila Zamojski



Town of Arnprior Proclamation

Community Living Month

May 2025

Whereas [Community Living Month](#) is a province-wide annual awareness campaign created to promote authentic inclusion with people who have an intellectual disability and their families; and

Whereas there are 52,000 adults with developmental disabilities across Ontario without services, including but not limited to; housing, employment and community connections to name a few; and

Whereas Community Living Renfrew County South has been providing exceptional services and support to people with developmental disabilities and their families in Arnprior and the surrounding area; and

Whereas as part of the celebrations this year, Community Living Ontario is hosting their annual *Shine a Light on Community Living* campaign on Thursday, May 1st, 2025; and

Whereas the Community Living Flag will be raised on May 1st through May 8th, 2025 for the and the Arnprior and District Museum's clock tower will be lit up with the colours of blue and green on May 1st, 2025, to show our support.

Now Therefore, I, Lisa McGee, Mayor of the Town of Arnprior, do hereby proclaim May 2025 as Community Living Month in the Town of Arnprior, encourage all residents to recognize and celebrate the accomplishments of Community Living Renfrew County South.

Lisa McGee, Mayor
Town of Arnprior

P.O.Box 683, 326 Raglan St. South
RENFREW ON K7V 4E7
Tel: 613-432-6763 Fax 613-432-9465

106 McGonigal St. West, Unit 100
ARNPRIOR ON K7S 1M4
Tel: 613-623-4955

March 19, 2025
Kaila Zamojski
Town Clerk
Town of Arnprior
Arnprior, ON K7S 0A8

To Kaila,

Subject: Proclamation to raise the Community Living Flag during the month of May

I, Jennifer Tabar, Administrative Assistant of Community Living Renfrew County South, do hereby issue this proclamation to announce Community Living Month, the month of May.

Whereas,

Community Living organizations across Ontario celebrate diversity, and inclusion for the month of May each year. It brings awareness and community presence. The CN Tower in Toronto changes their lights to green and blue for the month of May to show their support. We will also be lighting up our office with blue and green lights for the month of May.

Whereas,

There are 52,000 adults with developmental disabilities across Ontario without services, including but not limited to; housing, employment and community connections to name a few.

Now, therefore,

I do hereby proclaim the month of May as follows;

1. Raise the Community Living Flag on May 1st and if possible, for the entirety of the month.

This proclamation is effective immediately upon issuance, and I encourage all concerned parties to participate in this event.

In witness whereof, I have hereunto set my hand and seal this 19th day of March, 2025.

Sincerely,

Jennifer Tabar
Administrative Assistant
Community Living Renfrew County South

"working with others to improve the quality of life for people with developmental disabilities"

COMMUNITY LIVING

Renfrew County South



Inspiring Possibilities

Member of Community Living Ontario

March 21, 2025
Jennifer Lavallee
Executive Director
Community Living Renfrew County South
326 Raglan St. S
Renfrew, ON
K7V 1R5

Dear Nick Smith Centre,

May is Community Living Month, a province-wide annual awareness campaign created to promote authentic inclusion with people who have an intellectual disability and their families. This year, Toronto's CN Tower will help promote Community Living Month by lighting up in **blue** and **green** (the official colours of the Community Living movement) on **Wednesday, May 1st** as part of Community Living Ontario's ***Shine a Light on Community Living*** initiative.

Community Living Ontario is calling on other communities to join in and invite their local landmarks to participate. As a member of the Arnprior community who believes strongly in the Community Living movement, Community Living Renfrew County South are inviting local buildings/landmarks/businesses to shine a light, raise awareness, and celebrate with us. **Join us on May 1st** — or another date in May — and change your exterior lights to blue and green in support of Community Living Month. Together, we can create a powerful example of inclusion that will shine not only in our community, but throughout many others across the province.

Will you join us this year?

We thank you in advance for your time and consideration. If you have any questions about this unique campaign, visit communitylivingontario.ca/community-living-month or contact me via the information below.

Sincerely,

Jennifer Lavallee
Executive Director
Community Living Renfrew County South
613-432-6763 ext 106 or jlavallee@clrcs.com

More information: Founded in 1953, Community Living Ontario is a nonprofit leader providing a provincial voice for people who have an intellectual disability, their families, friends, and support providers across Ontario. Today, it proudly advocates on behalf of more than 100,000 people while championing the inclusion efforts of 124 member organizations.



ARNPRIOR

Minutes of the Accessibility and Age Friendly Advisory Committee Meeting

March 5th, 2025

6:30 PM

Council Chambers, Town Hall

Committee and Staff Attendance

Committee Members Present (In-Person):

Lynn Cloutier, Vice Chair
Amanda Deschamps, Committee Member
Sarah Tait, Committee Member

Committee Members Present (Electronic):

Tom Burnette, Councillor
Dave Furgoch, Committee Member

Committee Members Absent:

Tina MacLaren, Chair
Amanda Harris, Committee Member

Town Staff Present:

Kaila Zamojski, Town Clerk
Kaitlyn Wendland, Client Services
Coordinator
Graeme Ivory, Director of Recreation

1. Call to Order

Lynn Cloutier, Vice Chair, called the meeting to order at 6:30 PM and welcomed those present.

2. Roll Call

The roll was called, with all Members of the Committee being present except Tina MacLaren and Amanda Harris.

3. Land Acknowledgment

Lynn Cloutier asked everyone to take a moment to acknowledge and show respect for the Indigenous Peoples as traditional stewards of the land we operate on, by stating:

“I would like to begin by acknowledging that the land on which we work, and gather is the traditional unceded territory of the Anishinaabe People. This Algonquin Nation have lived on this land for thousands of years, long before the arrival of the European settlers, and we are grateful to have the opportunity to be present in this territory.”

4. Adoption of Agenda

Resolution Number 001-25

Moved by Sarah Tait

Seconded by Tom Burnette

Be It Resolved That the agenda for the Accessibility and Age Friendly Advisory Committee Meeting dated Wednesday, March 5th, 2025 be adopted.

Resolution Carried

5. Disclosure of Pecuniary Interest

None

6. Adoption of Minutes of Previous Meeting(s)

Resolution Number 002-25

Moved by Sarah Tait

Seconded by Tom Burnette

Be It Resolved That the minutes for the November 6th, 2024 Accessibility and Age Friendly Advisory Committee meeting be adopted.

Resolution Carried

7. Presentations/ Delegations

a) Age Friendly Community Plan Focus Group Session, Consultant, J.L. Richards

Ellory Vincent and Tim Chadder from J.L. Richards provided the Committee with an overview of the Age Friendly Community Plan Renewal process that is underway. Committee Members participated in a Focus Group session to provide input and feedback for the Age Friendly Community Plan Renewal. The following is a summary of the comments received:

- Benefits of living in Arnprior are:
 - community support; knowing more people and having their support; more opportunities; acceptance of disability and accessibility needs; safety; easy to get involved and meet people.
- Challenges of living in Arnprior are:
 - kids get bored; lack of transportation services; and lack of options for medical needs.
- What does an Age-Friendly Community look like to you?
 - Extra network of companion and support services; shared living arrangement options; accessibility of services and programs for all ages; entertainment options; ways to get around Town.
- What improvements could be made to make the Town more friendly?

- Improved sidewalks; educational program options; transportation options; walk in clinic; more programming; and respite care.
- What are the main physical landmarks?
 - Robert Simpson Park, Museum/clock tower, hospital, the mall, library, Nick Smith Centre.
- Is there a population of seniors that fall through the cracks?
 - Some people but not too many; Seniors at Home has support programs; lack of community newspaper creates challenges.
- What third spaces are in Town?
 - Library, Tim Hortons, Sweet and Sassy, Restaurants, SALC, and Robert Simpson Park.
- What services are most valuable to the aging community?
 - SALC, library, Arnprior Regional Health day programs, Seniors at Home, Legion, Civitan Club, NeighbourLink Fountain, and churches.
- Intergenerational Opportunities:
 - Early ON Centre, Parent and Tot and Senior skating program.
- Volunteers:
 - not seeing the same involvement since post COVID, cannot run programs that rely on volunteers, difficult to find the next generation, always calling on the same people.
- Transportation:
 - lack of public transit within Arnprior and to Ottawa creates many challenges; lack of frequent taxi service and cost.

8. Matters Tabled/ Deferred/ Unfinished Business

None

9. Staff Reports

None

10. New Business

a) Discussion – National AccessAbility Week Ideas – May 25th – 31st, 2025

Sarah Tait, Committee Member, provided an overview of National AccessAbility Week for the Committee. Discussion ensued amongst Committee Members with the following being a summary:

- May 28th, 2025 is Red Shirt Day.
- Use this week as an opportunity to highlight accessibility accomplishments and successes in Town.
- Coordinate a social media plan to feature a different aspect of accessibility every day during National AccessAbility Week.

- Town staff will bring back a draft plan, including a draft proclamation for the Committee's review at the next meeting.

b) Roundtable Discussion

Dave Furgoch, Committee Member, provided the following announcements:

- On May 31st, 2025 the Arnprior Lions Club will host the Blind Anglers and Fishers Tournament.
- On March 17th, 2025 a new documentary will air on AMI TV which Dave Furgoch will be featured in that highlights blind fishers.
- This spring, CBC's Still Standing is coming to Arnprior and Dave Furgoch has been asked to participate in it to feature his involvement in the blind fishing community.

11. Adjournment

Resolution Number 003-24

Moved by Sarah Tait

Seconded by Tom Burnette

That the Accessibility and Age Friendly Advisory Committee adjourn at 8:22 PM.

Resolution Carried



ARNPRIOR

**Minutes of the Culture and Diversity Advisory Committee Meeting
March 3rd, 2025 at 6:30 PM
Arnprior & District Museum**

Committee and Staff Attendance

Committee Members Present:

Michael Bradley, Chair
Chris Couper, Vice Chair
Dan Lynch, County Councillor
Leslie Ann Hook, Committee Member
Jo Ann Pecaskie, Committee Member

Town Staff Present:

Emily Stovel, Manager of Culture /
Curator
Kaila Zamojski, Town Clerk

Committee Members Absent:

Jennifer McGuire, Committee Member
Gaganpal Singh Bhasin, Committee Member

1. Call to Order

Michael Bradley, Chair, called the meeting to order at 6:30 PM and welcomed those present.

2. Roll Call

The roll was called, with all Members of the Committee being present except Jennifer McGuire and Gaganpal Singh Bhasin.

3. Land Acknowledgment

Chair Michael Bradley asked everyone to take a moment to acknowledge and show respect for the Indigenous Peoples as traditional stewards of the land we operate on, by stating:

“I would like to begin by acknowledging that the land on which we work, and gather is the traditional unceded territory of the Anishinaabe People. This Algonquin Nation have lived on this land for thousands of years, long before the arrival of the European settlers, and we are grateful to have the opportunity to be present in this territory.”

4. Adoption of Agenda

Resolution Number 001-25

Moved by Leslie Ann Hook

Seconded by Jo Ann Pecaskie

Be It Resolved That the agenda for the Culture and Diversity Advisory Committee Meeting dated Monday, March 3rd, 2025 be adopted.

Resolution Carried

5. Disclosure of Pecuniary Interest

None

6. Adoption of Minutes of Previous Meeting(s)

Resolution Number 002-25

Moved by Jo Ann Pecaskie

Seconded by Leslie Ann Hook

Be It Resolved That the minutes for the November 4th, 2024 Culture and Diversity Advisory Committee meeting be adopted.

Resolution Carried

7. Presentations/ Delegations

None

8. Matters Tabled / Deferred / Unfinished Business

None

9. Staff Reports

a) Curator's Report

Emily Stovel, Manager of Culture / Curator, provided a PowerPoint Presentation on the activities of the Arnprior and District Museum.

Discussion ensued among committee members with the following being a summary of the comments received:

- The impact of the Museums Heritage Designation was discussed, with the Manager of Culture/ Curator providing more information on this process.
- The Manager of Culture/ Curator noted that she would look into advertising with the Hum and/or CBC Radio for Museum related projects.

10. New Business

a) Discussion Item – Reviewing Cultural Plans

The Manager of Culture/Curator noted that there were links to several large scale Culture Plans created by other municipalities that were provided to the Committee for their review and exploration. The Manager of Culture Curator noted that she provided

these larger Culture Plans, so that the Committee could see all the range of ideas and concepts that could go into the creation of a new plan. She asked Committee Members to look at the concepts as different tools and provide her with which ones they preferred or would like to see explored, when Arnprior is going through this process.

Discussion ensued among Committee Members in regard to the information they took from the Culture Plans provided (Toronto, Vancouver, and Lethbridge), and wanted to investigate further while going through the Cultural Planning process, with the following being a summary of the comments received:

- 10 year planning horizon is a great timeline to look at;
- When developing a plan, it was nice to see that community conversation, facilitator lead sessions and virtual town halls were utilized;
- It may be interesting to see if we could look at making space for arts and culture through this process, like Vancouver has;
- It may be interesting to include future micro-grant opportunities for the community that provide incentives for artists/ community groups, like Lethbridge has.
- Two (2) questions are usually asked through the process of developing a Culture Plan with the community – (1) Why a Culture Plan for Arnprior/ What does it do for Arnprior as a community? (2) What does the word Culture
- Look into what funding opportunities are available for the development of this plan as well as for any culture related incentives or activities that come out of the process.
- Look into having more visible cultural aspects in public spaces, like Downtown and in municipal buildings.
- Art and Culture and Economic Development should be looked at together, while doing this plan, as well as looking at Business Retention and Expansion in this community.
- Micro-Aggressions were discussed by Committee Members, noting that they have heard this continues to be an issue for many people in our community.
 - The Manager of Culture noted that the Town could look at examples of other communities to find out what issues are in Arnprior and then create a more inclusive community by addressing some of these barriers.

Committee Members had a discussion around the recent Business Retention and Expansion Plan that the Town of Arnprior is undertaking, resulting in the following motion:

Resolution Number 003-25

Moved by Leslie Ann Hook

Seconded by Chris Couper

That the CDAC recommend to Council that through the Mayor's task force as part of the Business Retention & Expansion Plan process, both Arts and Culture type businesses and Social Enterprises are included and explored through the task force process.

Resolution Carried

b) Roundtable Discussion – Action Items and Questions from Previous Meeting

The Town Clerk provided an overview of the roles and expectations of Committee Members noting that staff are here to help and guide committee members and that we are looking for feedback and comments to provide advice to Council and staff on items that come forward.

Discussion ensued amongst Committee Members with the following being a summary of the comments noted:

- The Motion from the last CDAC Meeting, will be able to be brought forward for Council consideration at the next Regular Council Meeting. Councillor Couper noted he would bring the resolution forward.
- Committee Members noted they would like to develop a workplan for items the Committee could accomplish and work on during the remainder of their term on the Committee. The Town Clerk noted that the meeting date to discuss this can come forward at the next meeting, even if it had to be a separate special meeting.
- IDEA Strategy and process can be brought forward at another CDAC meeting.
- Listening Sessions can be investigated further and could form part of the Cultural Planning process.
- The Cultural Night Market Community Planning Committee was discussed as possibly being brought back as part of the planning process for the Cultural Night Market Event.

c) Roundtable Discussion – Connecting with Community

The Manager of Culture/ Curator noted that she is trying to build a Cultural Night Market Working Group. This Cultural Night Market Working Group is intended to help provide input from the Community on what they feel the event should look like.

11. Adjournment

Resolution Number 004-24

Moved by Leslie Ann Hook

Seconded by Dan Lynch

That the Culture and Diversity Advisory Committee adjourn at 8:53 PM.

Resolution Carried

**The Corporation of the
Town of Arnprior**

By-law Number 7583-25

A by-law to amend By-law Number 6875-18 of the Corporation of the Town of Arnprior, as amended.

Pursuant to Section 34 of the Planning Act, 1990, the Council of the Town of Arnprior enacts as follow:


1. **That** By-law number 6875-18, as amended, is hereby further amended as follows:
 - a. Schedule “A” is amended by re-zoning a portion of those lands known as 87 Claude St. from “Residential Two (R2)” to “Residential One (R1)” as shown on the attached Schedule “A”, and,
2. **That** this By-law shall come into full force and effect on the day of its passing.

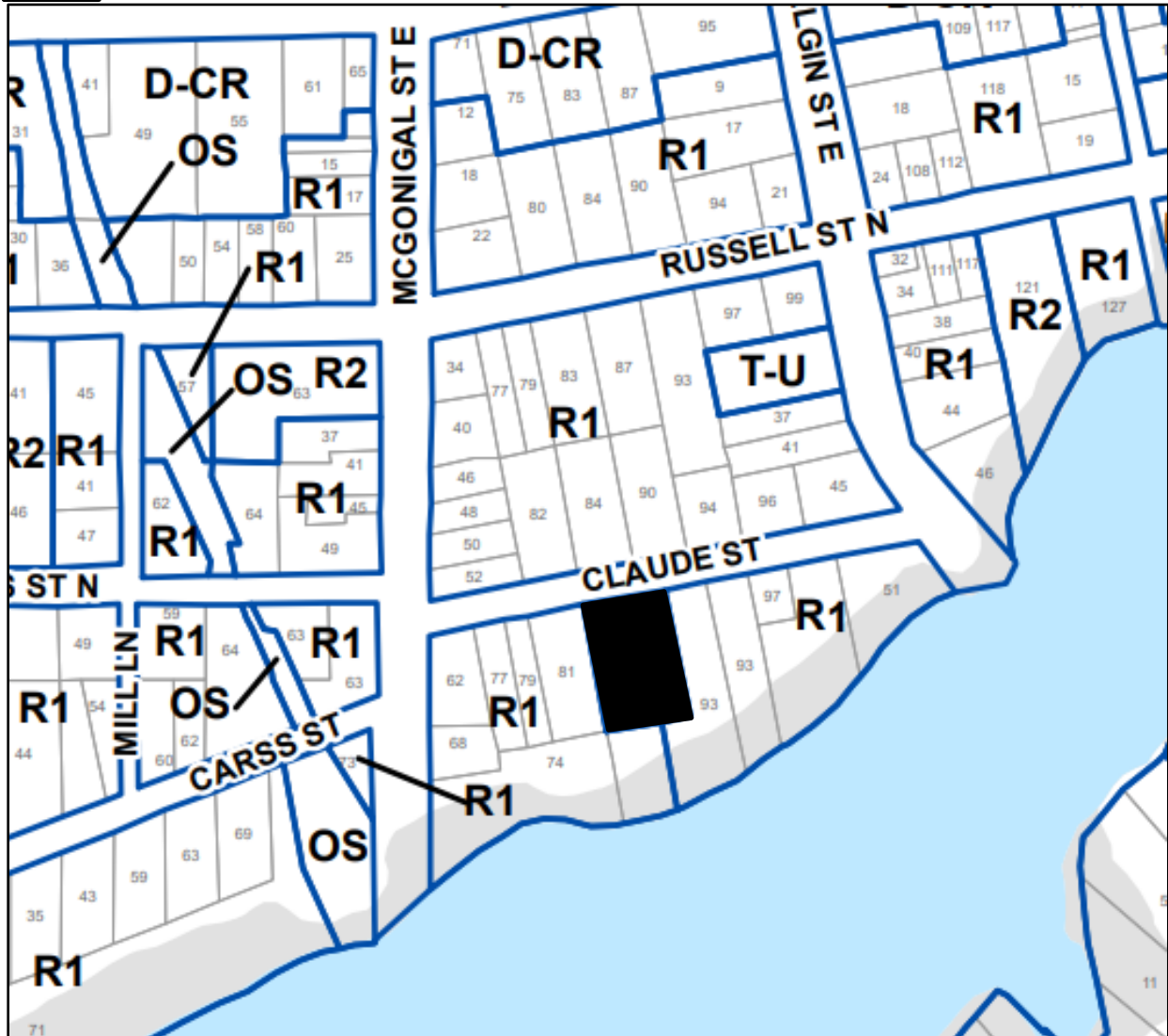
Enacted and **passed** this 14th day of April 2025.

Lisa McGee, Mayor

Kaila Zamojski, Town Clerk

SCHEDULE "A"

 From "R2" to "R1"



Schedule "A" to By-law Number 7583-25

Enacted and **Passed** this 14th day of April 2025.

Lisa McGee, Mayor

Kaila Zamojski, Town Clerk

The Corporation of the Town of Arnprior

By-Law No. 7584-25

A by-law to enter into the Dedicated Gas Tax Funds for Public Transportation Program Letter of Agreement

Whereas Section 8 of the *Municipal Act, 2001*, S.O. 2001, c.25 provides broad authority on municipalities to enable municipalities to govern their affairs as considered appropriate and to enhance the municipality's ability to respond to municipal issues, and;

Whereas on March 10th, 2025, Council passed By-Law No. 7570-25 to authorize support for the Arnprior-Braeside-McNab Seniors at Home Program Inc. and responsibility for dedicated Gas Tax Funding from the Province of Ontario.; and

Whereas on April 2nd 2025, staff received 2024-25 Gas Tax Package containing: Letter of Agreement and 2024-2025 Program Guidelines and Requirements;

Therefore the Council of the Town of Arnprior enacts as follows:

1. **That** the Mayor and Town Clerk are hereby authorized to execute the Dedicated Gas Tax Funds for Public Transportation Program Letter of Agreement dated March 31, 2025; and
2. **That** any by-laws, resolutions or parts of by-laws or resolutions inconsistent with this by-law be hereby repealed.

Enacted and **Passed** this 14th day of April 2025.

Lisa McGee, Mayor

Kaila Zamojski, Town Clerk

**Ministry of
Transportation**

Office of the Minister
777 Bay Street, 5th Floor
Toronto ON M7A 1Z8

Tel: 416 327-9200

**Ministère des
Transports**

Bureau du ministre
777, rue Bay 5^e étage
Toronto ON M7A 1Z8

Tél : 416 327-9200



March 31, 2025

107-2025-148

Mayor Lisa McGee
Town of Arnprior
105 Elgin Street West
Arnprior ON K7S 0A8

Dear Mayor McGee:

RE: Dedicated Gas Tax Funds for Public Transportation Program Letter of Agreement

This Letter of Agreement between the **Town of Arnprior** (the “Municipality”) and His Majesty the King in right of the Province of Ontario, as represented by the Minister of Transportation (the “Ministry”), sets out the terms and conditions for the provision and use of dedicated gas tax funds under the Dedicated Gas Tax Funds for Public Transportation Program (the “Program”).

Under the Program, the Ministry provides two cents out of the revenue from each litre of gasoline sold in Ontario, in accordance with provincial gas tax statutory requirements, to municipalities to fund improvements to Ontario’s transportation network and supporting economic development in communities for public transportation expenditures.

The Ministry intends to provide dedicated gas tax funds to the Municipality in accordance with the terms and conditions set out in this Letter of Agreement and the enclosed Dedicated Gas Tax Funds for Public Transportation Program 2024-25 Guidelines and Requirements (the “Guidelines and Requirements”).

In consideration of the mutual covenants contained in this Letter of Agreement and the Guidelines and Requirements, which the Municipality has reviewed and understands and are hereby incorporated by reference, and other good and valuable consideration, the receipt and sufficiency of which are expressly acknowledged, the Ministry and the Municipality agree as follows:

1. To support local public transportation services in the Municipality, the Ministry agrees to provide funding to the Municipality under the Program to a maximum amount of up to **\$27,713** (“the “Maximum Funds”) in accordance with, and subject to, the terms and conditions set out in this Letter of Agreement and the Guidelines and Requirements.
2. The Municipality will provide to the Ministry a fully signed copy of this Letter of Agreement and a copy of the authorizing municipal by-law(s) and, if applicable, resolution(s) for the Municipality to enter into this Letter of Agreement no later than **April 30, 2025**.

3. Upon receipt of the documentation identified in Section 2 above, the Ministry will provide the Municipality with 75% of its Maximum Funds. Reporting forms are due for submission by **June 30, 2025**. Upon approval of the reporting forms, the Ministry will provide the Municipality with any remaining payment(s). Any outstanding reporting requirements from previous years of the Program will need to be submitted and approved prior to receiving 2024-25 Gas Tax funding.
4. If another municipality authorizes the Municipality to provide local public transportation services on its behalf and authorizes the Municipality to request and receive dedicated gas tax funds for those services also on its behalf, the Municipality will in the by-law(s) and, if applicable, resolution(s) described in Section 2 confirm that the Municipality has the authority to provide those services and request and receive those funds on behalf of the other municipality.
5. The Municipality agrees that any amount payable under this Letter of Agreement and the Program may be subject, at the Ministry's sole discretion, to any other adjustments as set out in the Guidelines and Requirements.
6. The Municipality will deposit the Maximum Funds received in accordance with the Program into a dedicated gas tax funds reserve bank account and use the Maximum Funds, and any related interest, only in accordance with the Guidelines and Requirements.
7. The Municipality will adhere to all requirements set out in the Guidelines and Requirements, including, but not limited to, reporting and accountability measures. The Municipality will also provide all requested documentation to the Ministry in accordance with the Guidelines and Requirements.
8. The Municipality agrees that the Maximum Funds represent the full extent of the financial contribution from the Ministry and the Province of Ontario under the Program for the 2024-25 Program year.
9. The Ministry may terminate this Letter of Agreement at any time, without liability, penalty or costs upon giving at least thirty (30) days written notice to the Municipality. If the Ministry terminates this Letter of Agreement, the Ministry may take one or more of the following actions: (a) cancel all further payments of dedicated gas tax funds; (b) demand the return of any dedicated gas tax funds remaining in the possession or under the control of the Municipality; and (c) determine the reasonable costs for the Municipality to terminate any binding agreement(s) for the acquisition of eligible public transportation services acquired, or to be acquired, with dedicated gas tax funds provided under this Letter of Agreement, and do either or both of the following: (i) permit the Municipality to offset such costs against the amount the Municipality owes pursuant to paragraph 8(b) of this LOA; and (ii) subject to Section 1, provide the Municipality with funding to cover, in whole or in part, such costs. The funding may be provided only if there is an appropriation for this purpose, and in no event will the funding result in the Maximum Funding exceeding the amount specified under Section 1.
10. Any provisions which by their nature are intended to survive the termination or expiration of this Letter of Agreement including, without limitation, those related to disposition, accountability, records, audit, inspection, reporting, communication, liability, indemnity, and rights and remedies, will survive its termination or expiration.

11. This Letter of Agreement may only be amended by a written agreement duly executed by the Ministry and the Municipality.
12. The Municipality agrees that it will not assign any of its rights or obligations, or both, under this Letter of Agreement.
13. The invalidity or unenforceability of any provision of this Letter of Agreement will not affect the validity or enforceability of any other provision of this Letter of Agreement. Any invalid or unenforceable provision will be deemed to be severed.
14. The term of this Letter of Agreement will commence on the date of the last signature of this Letter of Agreement and shall remain in force and effect until the completion of the 2024-25 Program in accordance with the Guidelines and Requirements.
15. The parties hereby consent to the execution of this Letter of Agreement by means of an electronic signature.

If the Municipality is satisfied with and accepts the terms and conditions of this Letter of Agreement, please print and secure the required signatures, and then deliver a fully signed pdf copy to the Ministry through Transfer Payment Ontario (TPON). Subject to the province's prior written consent, including any terms and conditions the Ministry may attach to the consent, the Municipality may execute and deliver the Letter of Agreement to the Ministry electronically. In addition, all program documents are also to be sent through TPON.

Ministry of Transportation

March 31, 2025



Date

Name: Prabmeet Singh Sarkaria
Title: Minister

I have authority to bind the Ministry.

I have read and understand the terms and conditions of this Letter of Agreement, as set out above, and, by signing below, I am signifying the Municipality's consent to be bound by these terms and conditions.

Municipality

Date

Name (print):
Title (head of council or
authorized delegate):

I have authority to bind the Municipality.

Date:

Name (print):

Title (clerk or authorized delegate):

I have authority to bind the Municipality.

**Ministry of
Transportation**

Assistant Deputy
Minister's Office
Transit Division

777 Bay Street, 30th
Floor
Toronto, ON M5G 2E5

**Ministère des
Transports**

Bureau de la Sous-
Ministre Adjointe
Division des Transports
en Commun

777, Rue Bay, 30e Étage
Toronto, ON M5G 2E5



March 31, 2025

Lisa McGee
Mayor
Town of Arnprior
105 Elgin Street West
Arnprior ON K7S 0A8
lmcgee@arnprior.ca

Dear Mayor McGee:

I am writing to announce the launch of the 2024-25 Gas Tax Program and to advise you of your funding allocation.

Under the *Dedicated Funding for Public Transportation Act, 2013*, two cents per litre of gasoline tax is dedicated as a permanent funding source for public transit. The Town of Arnprior will be eligible to receive **\$27,713** for this program year, subject to the terms and conditions of the Gas Tax Program, to further improve your transportation network.

Enclosed is a Letter of Agreement that sets out the terms and conditions of the Gas Tax Program. If your municipality is satisfied with and accepts the terms and conditions of the Letter of Agreement, please secure the required signatures and return to the Ministry. Ministry staff will be in contact with your municipal staff to provide further materials and to discuss next steps.

If you have any questions regarding the Gas Tax program, please contact Nathania Ho, Director, Transit Strategy and Programs Branch, at Nathania.Ho2@ontario.ca.

Sincerely,

A handwritten signature in blue ink, appearing to read "J. Pearce", is positioned above a faint, light blue rectangular stamp.

James Pearce
Assistant Deputy Minister, Transit Division

Cc: Doug Jones, Deputy Minister, Ministry of Transportation
Nathania Ho, Director, Transit Strategy and Programs Branch, Ministry of Transportation



Municipal Grants Application (In-Kind Request) – Arnprior Optimistic Women’s Club (Ladies Night Event)

That Council of the Corporation of the Town of Arnprior receive the Municipal Grant request from Arnprior Optimistic Women’s Club; and

Whereas the Arnprior Optimistic Women’s Club is an eligible organization under the Municipal Grants Policy and supports residents in our community through support with compassion and efficacy to local schools, “give back” initiatives, and individual families; and

Therefore Be It Resolved That Council approve the request for waiving the Nick Smith Centre Community Hall with bar rental fees, security guard, set up beyond tables and chairs, and stage set up (value of approximately \$972.50 plus HST) for the Annual Ladies Night Event to be held on May 10th, 2025; and

Further That Arnprior Optimistic Women’s Club be advised that it is mandatory to carry sufficient liability insurance and have the Town of Arnprior added as an additional insured for the event.



Municipal Grants Application (In-Kind Request) – Renfrew County 4-H Association (Cooking with Dairy Club)

That Council of the Corporation of the Town of Arnprior receive the Municipal Grant request from Renfrew County 4-H Association; and

Whereas the Renfrew County 4-H Association is an eligible organization under the Municipal Grants Policy and supports residents in our community through developing and implementing programs that help young people become contributing members of their communities; and

Therefore Be It Resolved That Council approve the request for waiving the Nick Smith Centre Community Hall rental fees (value of approximately \$547.50 plus HST) for the Cooking with Dairy Club to be held on May 24th, 2025; and

Further That Renfrew County 4-H Association be advised that it is mandatory to carry sufficient liability insurance and have the Town of Arnprior added as an additional insured for the event.