



**Town of Arnprior**

**Regular Meeting of Council Agenda**

**Date: Monday, May 26<sup>th</sup>, 2025**

**Time: 6:30 p.m.**

**Location: Council Chambers – 105 Elgin Street West, Arnprior**

- 1. Call to Order**
- 2. Roll Call**
- 3. Land Acknowledgement Statement**
- 4. Adoption of Agenda (Additions / Deletions)**
- 5. Disclosures of Pecuniary Interest**
- 6. Question Period**
- 7. Adoption of Minutes of Previous Meeting(s) (Except Minutes of Closed Session)**
  - a) [\*\*Regular Meeting of Council – May 12, 2025\*\*](#) (Page 1-10)
- 8. Awards / Delegations / Presentations**
  - a) [\*\*Program and Events Summer Update\*\*](#), Lucas Power, Program and Events Supervisor (Page 11-30)
- 9. Public Meetings**
- 10. Matters Tabled / Deferred / Unfinished Business**
- 11. Notice of Motion(s)**

## **12. Staff Reports**

- a) **Zoning By-law Amendment Application 6/25 - 10 William St. W.**, Alix Jolicoeur, Manger of Community Services/Planner (Page 31-46)
- b) **Zoning By-law Amendment 7/24 - Sawmill Flats Phase 3**, Alix Jolicoeur, Manger of Community Services/Planner (Page 47-95)
- c) **Zoning By-law Amendment 4/25 - Marshall's Bay Meadows Phase 5A & 5B**, Alix Jolicoeur, Manager of Community Services/Planner (Page 96-126)
- d) **Annual Statement of Development Charges – 2024**, Jennifer Morawiec, General Manager, Client Services/ Treasurer (Page 127-141)
- e) **Budget Matters – Expenses: Ontario Regulation 284/09**, Jennifer Morawiec, General Manager, Client Services/ Treasurer (Page 142-145)
- f) **Proclamation for Pride Month (June 2025)**, Kaitlyn Wendland, Deputy Clerk (Page 146-148)
- g) **Proclamation for Parks and Recreation Month (June 2025)**, Kaitlyn Wendland, Deputy Clerk (Page 149-151)
- h) **Proclamation for Seniors Month (June 2025)**, Kaitlyn Wendland, Deputy Clerk (Page 152-154)

## **13. Committee Reports and Minutes**

- a) **Mayor's Report**
- b) **County Councillor's Report**
- c) **Committee Reports and Minutes**

## **14. Correspondence & Petitions**

- a) **Correspondence**
  - i) **Correspondence Package I-25-MAY-10**

## **15. By-laws & Resolutions**

- a) **By-laws**
  - i) **By-law No. 7594-25 - Zoning By-law Amendment 7/24 (Sawmill Flats Phase 3)** (Page 155-156)
  - ii) **By-law No. 7595-25 - Zoning By-law Amendment 4/25 (Marshall's Bay Meadows Phase 5A & 5B)** (Page 157-158)
  - iii) **By-law No. 7596-25 – Zoning By-law 7/25 - Lift Holding (Corb Stewart Court)** (Page 159-160)

- iv) **By-law No. 7597-25 – Appoint Advisory Committee Members** (Page 161-162)

**b) Resolutions**

- i) **2024 Annual Integrity Commissioner Report** (Page 163)

**16. Announcements**

**17. Closed Session**

**18. Confirmatory By-law**

By-law No. 7598-25 to confirm the proceedings of Council

**19. Adjournment**

Please Note: Please see the [Town's YouTube channel](#) to view the live stream. The meeting will be uploaded to YouTube for future viewing.

The agenda is made available in the Clerk's Office at the Town Hall, 105 Elgin Street West, Arnprior and on the Town's [website](#). Persons wishing to receive a print item on the agenda by email, fax, or picked up by hand may request a copy by contacting the Clerk's Office at 613-623-4231 ext. 1818. The Agenda and Agenda items will be prepared in an accessible format upon request.

Full Distribution: Council, C.A.O., Managers and Town Administrative Staff and Town Website



ARNPRIOR

**Minutes of Council Meeting  
May 12<sup>th</sup>, 2025, 6:30 PM**

**Town Hall, Council Chambers – 105 Elgin St. W. Arnprior, ON.**

**Council and Staff Attendance**

**Council Members Present (In-Person):**

Mayor Lisa McGee  
Councillor Ted Strike  
Councillor Lynn Cloutier  
Councillor Chris Toner  
Councillor Chris Couper

**Council Members Absent:**

County Councillor Dan Lynch  
Councillor Tom Burnette

**Town Staff Present:**

Robin Paquette, CAO  
Kaila Zamojski, Town Clerk  
Jennifer Morawiec, GM Client  
Services/Treasurer  
Kaitlyn Wendland, Deputy Clerk  
John Steckly, General Manager, Operations  
Ryan Wall, Engineering Officer  
Graeme Ivory, Director of Recreation  
Alix Jolicoeur, Manager of Community  
Services/Planner

**1. Call to Order**

Mayor Lisa McGee called the Regular Council Meeting to order at 6:30 PM and welcomed those present.

**2. Roll Call**

The roll was called, with all Members of Council being present except County Councillor Dan Lynch and Councillor Tom Burnette.

**3. Land Acknowledgement Statement**

Mayor Lisa McGee asked everyone to take a moment to acknowledge and show respect for the Indigenous Peoples as traditional stewards of the land we operate on, by stating:

“I would like to begin by acknowledging that the land on which we work, and gather is the traditional unceded territory of the Anishinaabe People. This Algonquin Nation have lived on this land for thousands of years, long before the arrival of the European settlers, and we are grateful to have the opportunity to be present in this territory.”

**4. Adoption of Agenda**

Resolution Number 166-25  
Moved by Chris Toner  
Seconded by Lynn Cloutier

**Be It Resolved That** the agenda for the Regular Meeting of Council dated Monday, May 12<sup>th</sup>, 2025, be adopted as amended with the addition of a closed session under item 17.

Resolution Carried



**5. Disclosures of Pecuniary Interest**

None

**6. Question Period**

None

**7. Adoption of Minutes of Previous Meeting(s)**

Resolution Number 167-25

Moved by Chris Couper

Seconded by Ted Strike

**That** the minutes of the Regular Meeting of Council listed under Item 7 (a) on the Agenda be adopted (Regular Meeting of Council – April 28, 2025).

Resolution Carried

**8. Awards/Delegations/Presentations**

None

**9. Public Meetings**

Resolution Number 168-25 (6:32 PM)

Moved by Lynn Cloutier

Seconded by Chris Toner

**That** Council move into a Public Meeting regarding:

1. Application for Zoning By-Law Amendment 7/24 (Sawmill Flats)
2. Application for Zoning By-Law Amendment 4/25 (Marshalls Bay)
3. Change to Council Composition (Deputy Mayor)

Resolution Carried

The public meeting was opened at 6:32 PM.

**a) ZBL 7/24 Public Meeting (Jack Crescent, Sawmill Flats Ph 3)**

Alix Jolicoeur, Manager of Community Services/Planner, provided an overview presentation outlining the proposed Zoning By-Law Amendment No. 7/24 for the subject property.

Mayor McGee opened the floor to public comments with the following being a summary of the comments received:

- Anthony Homick – JP2G Consultants
  - Mr. Homick spoke on behalf of the applicant and highlighted the proposed changes. He indicated that this next phase would keep with the design of phases one and two. He noted the request for a reduction in parking spaces follows the levels of use they have seen at the existing

buildings. JP2G's opinion is that these amendments will maintain the look of the existing features and should be approved.

No further public comments were received on this application. (6:44pm)

**b) ZBL 4/25 Public Meeting (Marshall's Bay Meadows)**

Alix Jolicoeur, Manager of Community Services/Planner, provided an overview presentation outlining the proposed Zoning By-Law Amendment No. 4/25 for the subject property.

Mayor McGee opened the floor to public comments with the following being a summary of the comments received:

- Cheryl Wallace – 34 Yade Road
  - Ms. Wallace asked about what will be built behind where they live, as they were informed it would be semi-detached units when they purchased their home. She also inquired if privacy measures such as a fence will be put in place by the developer. A representative from the developer, who was in attendance, provided her contact information for further discussion with Ms. Wallace.
- Mark Voyce – 14 Yade Road
  - Mr. Voyce inquired about if this change to single family homes will impact on the capacity of the sewage system. He asked if narrowing the lots will result in narrowed houses as well. He also asked for information about the grading plan for lots behind his, and how this may impact his property.
  - Staff responded and indicated that they are reviewing the development application for the phases including a servicing study and plans. Staff further noted they do not believe there are any concerns for the sewage system at this time. Staff indicated the narrower lots and house sizes will still be well within the minimum dwelling size based on the Ontario Building Code. Staff also indicated that tonight's application is specifically for the zoning of the subject land. Lots behind his are not subject to the application.
- Adam Thompson – Novatech
  - Mr. Thompson, from Novatech, provided a summary of the application and reiterated that this application is only dealing with the single-family homes.
  - Council asked Adam for clarification about whether the smaller house sizes will result in more affordable housing and if these changes will have any impact on the adjacent park lands. Adam indicated that the goal will be for more affordable home prices and that there would not be any impact on the park land.

No further public comments were received on this application. (7:00 pm)

**c) Change to Council Composition (Deputy Mayor)**

Robin Paquette, CAO, provided an overview presentation outlining the proposed changes to Council Composition.

No public comments were received.

The public meeting was declared closed at 7:06 PM.

Resolution Number 169-25 (7:06 PM)

Moved By Lynn Cloutier

Seconded By Chris Couper

**That** Council resume to the Regular Meeting of Council.

Resolution Carried

**10. Matter Tabled/ Deferred/ Unfinished Business**

None

**11. Notice of Motion(s)**

None

**12. Staff Reports**

**a) PWC-2025-02 Daniel Street Resurfacing – Town Works**, Ryan Wall, Engineering Officer

Resolution Number 170-25

Moved by Chris Couper

Seconded by Ted Strike

**That** Council authorize the expenditure of \$582,099.71 (incl net HST and 5% contingency) for the Town's portion of the County of Renfrew's Tender PWC-2025-02, which includes rehabilitation of sidewalks and structures along Daniel Street (CR-2), and resurfacing of William Street between John Street and Daniel Street; and

**That** Council authorize the CAO to execute such documentation as may be necessary to proceed with the project.

Resolution Carried

**b) Pilot Project – Lease Agreement at McLean Beach,** Graeme Ivory, Director of Recreation

Resolution Number 171-25  
Moved by Lynn Cloutier  
Seconded by Chris Toner

**That** Council authorize the Mayor and Clerk to execute the Lease Agreement with Air Paddle Canada Inc (operationally known as Ottawa Valley Air Paddle) for the placement of one mobile trailer for the purposes of establishing a rental center and supporting town recreation programs and events at McLean Beach.

Resolution Carried

**c) Zoning By-Law Amendment 5/25 (85 Madawaska),** Alix Jolicoeur, Manager of Community Services/Planner

Resolution Number 172-25  
Moved by Chris Couper  
Seconded by Ted Strike

**That** That Council receives an application for an amendment to Zoning By-law 6875-18 for a vacant parcel on Madawaska Blvd. to amend the zoning to:

- increase the maximum building height from to 14.0 m to 14.9 metres
- permit balconies to project a maximum of 1.3 m into the minimum required rear yard; and
- reduce the minimum required planting strip along the front lot line abutting Madawaska Blvd from 3.0 m to 0.0 m to permit development of a four storey 185-unit apartment development with some first-floor non-residential uses as proposed.

**Further That** pursuant to Section 34(12) of the Planning Act, Council holds a public meeting on June 9, 2025, regarding the proposed amendment, to allow for public review and comment.

Resolution Carried

**d) Zoning By-Law Amendment 4/24 (Grace St Andrews United Church),** Alix Jolicoeur, Manager of Community Services/Planner

Resolution Number 173-25  
Moved by Lynn Cloutier  
Seconded by Ted Strike

**That** Council receives an application for an amendment to Zoning By-law 6875-18 for the Grace St. Andrews United Church property including 24 Ottawa St., 258 Albert St., and 257 and 269 John St. N., to amend the zoning of a portion of the property from

Residential One to Institutional and a portion of the property from Institutional to Residential One in order to support severance of the existing detached dwellings at 258 Albert St. and 24 Ottawa St., and the creation of two new vacant residential lots with frontage on Albert St. and Ottawa St.

**Further That** pursuant to Section 34(12) of the Planning Act, Council holds a public meeting on June 9, 2025, regarding the proposed amendment, to allow for public review and comment.

Resolution Carried

### **13. Committee Reports and Minutes**

#### **a. Mayor's Report**

Mayor Lisa McGee reported the following:

- Last week, the Mayor joined the McHappy Day Crew at our local McDonald's. The Mayor indicated she has a newfound respect for how hard they work and loved the interaction between management and staff. Everyone's positivity shone through.
- The Mayor had a terrific discussion with the Standing for Survivors Coordinators when they met to take a picture at the We Stand With Survivors Banner. There are several municipalities that are signing on to raise awareness and support for survivors of sexual assault. Their work is incredibly important.
- The Mayor, together with many members of Council, staff, and almost 400 Arnprior residents, were treated to a fantastic comedy show to cap off a great week of filming and highlighting Arnprior, our residents, and businesses for CBC's Still Standing. Rumours are that the episode will air in the fall, but there is no confirmed date yet.

#### **b. County Councillor's Report**

None

#### **c. Committee Reports and Minutes**

None

### **14. Correspondence & Petitions**

#### **a) Correspondence Package No. I-25-MAY-09**

Resolution Number 174-25

Moved by Ted Strike

Seconded by Chris Couper

**That** Correspondence Package Number I-25-MAY-09 be received as information and filed accordingly.

Resolution Carried

Councillor Couper noted the following:

- Page 87 – The Renfrew County and District Health Unit is reminding residents that yellow is the colour of caution in their Animal Bite Awareness Campaign. This is the third year that the Renfrew County and District Health Unit is encouraging the use of a yellow ribbon tied to a dogs' leash or collar to remind people to give the animal space. This initiative is a very visible way of showing that a dog might need space for various reasons, which could include age, health reasons, nervousness, aggression, or training. If you see a dog with a yellow ribbon, do not pet them.

**b) Correspondence Package No. A-25-MAY-06**

Resolution Number 175-25

Moved by Chris Toner

Seconded by Lynn Cloutier

**That** Correspondence Package Number A-25-MAY-06 be received and the recommendations be brought forward for Council consideration.

Resolution Carried

**15. By-laws & Resolutions**

**a) By-laws**

Resolution Number 176-25

Moved by Chris Couper

Seconded by Ted Strike

**That** the following by-laws be and are hereby approved:

- i. By-Law No. 7590-25 – Amend Committee of Adjustment Terms of Reference
- ii. By-Law No. 7591-25 – Appointment to Committee of Adjustment (Councillor Cloutier)
- iii. By-Law No. 7592-25 – McLean Beach Lease Agreement (Air Paddle Canada Inc.)

Resolution Carried

**b) Resolutions**

**i. Appointment of Mayor Lisa McGee to Joint Library Use Agreement Committee**

Resolution Number 177-25

Moved by Ted Strike

Seconded by Chris Couper

**Whereas** By-law No. 6486-15 established a Joint Library Use Agreement between the Township of McNab/Braeside, Town of Arnprior and the Arnprior Public Library Board; and

**Whereas** Section 8 of this agreement requires the establishment of a Municipal Library Use Committee, with a Member of Council from the Town of Arnprior to be appointed; and

**Whereas** at the Regular Council Meeting on April 28, 2025, Council provided direction to appoint a member of Council to the Municipal Library Committee.

**Therefore Be It Resolves That** Mayor Lisa McGee be appointed to the Municipal Library Use Committee.

Resolution Carried

**ii. Municipal Grants Application (In-Kind Request) – Grace St. Andrews United Church Women**

Resolution Number 178-25

Moved by Lynn Cloutier

Seconded by Chris Couper

**That** Council of the Corporation of the Town of Arnprior receive the Municipal Grant request from Grace St. Andrews United Church Women for the 2025 Christmas Craft Sale; and

**Whereas** the Grace St. Andrews United Church Women are an eligible organization under the Municipal Grants Policy; and

**Whereas** the Grace St. Andrews United Church Women will be hosting a Christmas Craft Sale on November 1st, 2025 at the Nick Smith Centre which is a fundraising event that allows the Grace St. Andrews United Church Women to give back to the community; and

**Therefore Be It Resolved That** Council approve the request for waiving the Nick Smith Centre Community Hall Rental Fee (value of approximately \$365) on November 1st, 2025 for the Christmas Craft Sale; and

**Further That** Grace St. Andrews United Church Women be advised that it is mandatory to carry sufficient liability insurance and have the Town of Arnprior added as an additional insured for the event.

Resolution Carried

## 16. Announcements

Councillor Toner made the following announcement:

- Councillor Toner attended the Renfrew County District School Board Vendor Fair at the Nick Smith Centre on May 8<sup>th</sup>. The hall was packed full of elementary school students. He had the opportunity to pick up some Mother's Day gifts including a multicultural cookbook, a hair scrunchie made from recycled clothes, and a wildflower card. He also got a butternut squash plant which was grown with compost from the FoodCycler that Council provided to Walter Zadow. The students were all enthusiastic and all the money raised went to the Children's Hospital for Eastern Ontario.

Councillor Couper made the following announcements:

- Councillor Couper noted he also attended the Renfrew County District School Board's Youth Fair, which was a fantastic event. In total this event raised \$5,900.
- A shout out to Cold Bear Brewing Company who won a bronze medal at the World Beer Cup, the most prestigious beer competition in the world. They won in the international dark lager category for their Czech Dark Lager. They were one of nine breweries in Canada to actually medal at this competition. They won a gold medal at the Canadian Beer Competition in 2023 and 2024 but by far, this is the biggest achievement to date. Congratulations to Cold Bear Brewing Company.

## 17. Closed Session

Resolution Number 179-25 (7:50 PM)

Moved by Lynn Cloutier

Seconded by Chris Couper

**That** Council move into Closed Session to discuss one (1) matters pursuant to Section 239 (2)(b) of the Municipal Act, 2001, as amended, to discuss a personal matter about an identifiable individual, including municipal or Local Board employees (Striking Committee – Advisory Committees); and One (1) matter pursuant to Section 239 (2)(k) of the Municipal Act 2001, as amended, to discuss a position, plan, procedure, criteria or instruction to be applied to any negotiations carried on or to be carried on by or on behalf of the municipality or local board (Vendor).

Resolution Carried

Resolution Number 180-25 (8:19 PM)

Moved by Chris Couper

Seconded by Lynn Cloutier

**That** Council resume to Open Session.

Resolution Carried



Resolution Number 181-25  
Moved by Chris Couper  
Seconded by Ted Strike

**That** Council direct staff to bring forward and appointment by-law to the May 26<sup>th</sup>, 2025, Regular Meeting of Council as discussed in Closed Session.

Resolution Carried

## **18. Confirmatory By-Law**

Resolution Number 182-25  
Moved by Chris Toner  
Seconded by Lynn Cloutier

**That** By-law No. 7593-25, being a By-law to confirm the proceedings of the Regular Meeting of Council held on May 12<sup>th</sup>, 2025, be and is hereby approved.

Resolution Carried

## **19. Adjournment**

Resolution Number 183-25  
Moved by Lynn Cloutier  
Seconded by Chris Couper

**That** this meeting of Council be adjourned at 8:20 PM.

Resolution Carried

## **Signatures**

Lisa McGee, Mayor

Kaila Zamojski, Town Clerk



# Program and Events Summer Update

Lucas Power, Program and Events Supervisor  
Meeting Date: May 26, 2025

# Background

## Summer Recreation

- Summer is a recreation paradise in Arnprior and 2025 will be no exception.
- The Recreation Department has annually organized
  - Major events
  - Summer camps
  - Indoor and outdoor programming
  - Sport leagues and programs
  - Swimming lessons and guarded beach

# Spring Recap

## Since the last recreation update...

- FamFest 2025
- Youth Sports Program debut
- St. Paddy's Party
- The Bunny Run
- Easter Egg Hunt
- Camp registration and launched the Counsellor In Training (CIT) Program
- Completion of the latest Youth Club season
- Completion of the Walk the Halls program



# Sport Leagues and Programs

**The week of May 26 marks the start of our many sport leagues and programs including:**

- T-Ball
- Beach Volleyball (Youth and Adult)
- Skateboarding
- Ball Hockey (Youth and Adult)
- Youth Pickleball
- Dragon Boating

Popular programs such as Pickleball, Badminton, and Conditioning and Balance continue as well.



# Recreation and Parks Month

Recreation and Parks month is a movement that promotes the benefits of recreation and parks for physical, social, and environmental health. Driven by Parks and Recreation Ontario (PRO), communities across the Province have embraced June as Recreation and Parks Month (JRPM) as a way to promote local programs and events, parks and facilities that are available for all citizens to enjoy.

## **ParticipACTION Grant Funding**

We've been awarded \$1,000 in funding from ParticipACTION to support Recreation and Parks Month activities that will be used to support

- Priorpalooza
- Concerts in the Park
- School's Out Beach Party



# Event Schedule

**2025 continues to be busy with a full schedule**

June 7 – Priorpalooza

June 8 - August 17 – Concerts in the Park

June 21 – Movies in the Park

June 26 – School's Out Beach Party

July 1 – Canada Day

July 12 – PaddleFest

July 12 – Movies in the Park

July 19 – Dragon Boat Festival

August 2 – Theatre of Fools

August 9 – Movies in the Park

August 31 – Summer's End Showcase



# Community Interest & Support

As done in the past few years, a Call for Performers was sent out in January to find interested artists to perform at various events. 131 submissions were submitted, and 28 performers have been hired.

Summer events are generously supported and made possible by community sponsors.

Thanks to sponsors (20 sponsorships) we have received \$22,500. We've also been successful with grant applications totaling \$11,000. This provides \$33,500 towards the operation and success of our events.





**Saturday June 7 | 12:00-9:00pm | Robert Simpson Park**

## **Featuring**

- Live Music (8 acts)
- Family Entertainment
- Cold Bear Brewing Beer Garden
- Food and Community Vendors

[Arnprior.ca/Priorpalooza](http://Arnprior.ca/Priorpalooza)



Free weekly music on Sundays from 2:00 – 4:00pm on the Lions Club Pavillion at Robert Simpson Park running June 8 through August 17.

While normally a 10-week series, the SALC Brass Ensemble will provide a bonus 11<sup>th</sup> show this summer!

[Arnprior.ca/Concerts](http://Arnprior.ca/Concerts)



# Movies in the Park

**Free monthly movies from June through August**

June 21 – Robert Simpson Park

July 12 – Sullivan Rink of Dreams at Legion Park

August 9 – McLean Ball Diamonds

Start following sunset

The community can vote on which movie to watch by voting on the Facebook event post each month.

[Arnprior.ca/Movies](http://Arnprior.ca/Movies)

# SCHOOLS OUT BEACH PARTY

**Thursday June 26 | 5:00 – 7:00pm | Robert Simpson Park**

This 3<sup>rd</sup> annual event is set for the last day of school. Targeted to elementary school kids and their families, this event features a guarded beach, inflatables, dance performances, free treats and more!

[Arnprior.ca/SOBP](http://Arnprior.ca/SOBP)



# Canada Day

**July 1 | 8:00am - 10:00pm | Across Arnprior**

Robert Simpson Park will host many free activities our community has loved for years including live music, awards, cake, games and more. We will also be highlighting many of the great activities organized by service clubs including breakfast, bike parade, duck race and more. As always, the event ends with fireworks at dusk.

[Arnprior.ca/CanadaDay](http://Arnprior.ca/CanadaDay)



# PaddleFest

**July 12 | 11:00am - 3:00pm | McLean Beach**

Done in partnership with Ottawa Valley Air Paddle to provide free and accessible programming on the water in Arnprior. Throughout the day, there will be free guided paddles on the Ottawa River from McLean Beach while also enjoying live music, family games, and see local vendors.

[Arnprior.ca/PaddleFest](https://Arnprior.ca/PaddleFest)



# ARNPRIOR DRAGON BOAT FESTIVAL

**July 19 | 8:00am - 4:00pm | Arnprior Waterfront**

The annual Dragon Boat Festival continues to grow with competitors from across Ontario and Quebec making the trip to Arnprior. Team and individuals can join in on the water or come to cheer on the athletes.

[Arnprior.ca/DragonBoat](http://Arnprior.ca/DragonBoat)



# Theatre of Fools

**August 2 | 7:00 - 8:30pm | Robert Simpson Park**

The Theatre of Fools will be making a stop in Arnprior on their 2025 summer Torchlight production of A Comedy of Errors.

Admission is free but a donation is recommended.

Fools.ca





# Summer's End Showcase

**August 31 | 12:00 – 3:00pm | Robert Simpson Park**

The 2<sup>nd</sup> Annual event wraps up the busy summer of music with a mini festival of local performers. Each act has a 30-minute set over 3 hours of music on the Lions Club Pavillion of Robert Simpson Park.

[Arnprior.ca/SES](http://Arnprior.ca/SES)



# Summer Camp

Registration for summer camps have been open since April 1 with many weeks approaching capacity. You can pick between

- Camp Wanna-Go (June 30-August 22)
- Theatre Kids Camp (July 7-18)
- Sports Camp (July 21-25)

The new Counsellor in Training (CIT) program has been well received with limited spaces remaining. Youth aged 11-13 can still apply online to be part of this pilot project.

More information on summer camp can be found at [Arnprior.ca/Camps](http://Arnprior.ca/Camps)



# Park Program

After a very successful return to the programming lineup, the Park Program returns in 2025 with support from Canadian Tire Jumpstart.

We've received a grant in the amount of \$3,600.00 to support the growth of the Park Program and offset staffing costs as well as support the purchase of more equipment.

This free program brings recreation to neighbourhoods across Arnprior for two hours on Monday, Wednesday and Friday afternoons in July and August.

[Arnprior.ca/ParkProgram](https://Arnprior.ca/ParkProgram)



# Stay in the Know!

Residents can stay updated with the latest information by:

- Visiting Arnprior.ca
  - Calendar.Arnprior.ca
  - Arnprior.ca/Programs
- Visit the Nick Smith Centre or Town Hall
  - Talk to a staff member
  - Pick up a copy of Arnprior Life
- Follow us on social media
  - Facebook - Arnprior Life
  - Instagram - @arnpriorlife
  - X - @Arnprior
  - LinkedIn - Town of Arnprior

Contact the Nick Smith Centre for support at any time  
[recreation@Arnprior.ca](mailto:recreation@Arnprior.ca) or 613.623.7301

# Questions?



• WHERE THE RIVERS MEET •



## **Town of Arnprior Staff Report**

**Subject:** Zoning By-law Amendment 6/25 – 10 William St. W.

**Report Number:** 25-05-26-01

**Report Author and Position Title:** Alix Jolicoeur, Manager of Community Services/Planner

**Department:** Community Services Branch

**Meeting Date:** May 26, 2025

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### **Recommendations:**

**That** Council receives an application for a Zoning By-law Amendment (ZBLA 6/25) for the property known municipally as 10 William Street West to rezone the subject property from “Mixed Use Residential/Commercial exception 3 temporary zoning 2 (MU-RC\*3-T2)” to “Mixed Use Residential/Commercial exception 49 temporary zoning 2 (MU-RC\*49-T2)”.

**That** pursuant to the Planning Act, Council holds a public meeting on Monday, June 23, 2025, regarding the proposed amendment, to allow for public review and comment.

### **Background:**

**Owner:** Dr. Bair-Patel Chiropractic Professional Corporation

**Description of Subject Lands:** 10 William St. W. (see Key Plan)

**Legal Description:** Lot 60, Part Lot 61, on Plan 115

**Area of Land:** 0.48 hectares

**Existing Structures:** Commercial retail building

**Official Plan:** Mixed Use Residential / Commercial Area

**Zoning:** Mixed Use Residential/Commercial exception 3 temporary zoning 2 (MU-RC\*3-T2)

The Zoning By-law amendment application seeks to rezone the subject lands to permit some additional uses under the MU-RC zone currently restricted by the Exception 3 as listed in the Zoning By-law Provisions section below, and to remove the following exception 3 provision “Business offices, business service uses, personal service uses

and retail stores shall have a net floor area that is 100 square metres or less. Existing non-residential uses can only expand such that the use does not exceed 100 square metres of net floor area”

## Context

The subject property is a corner lot with approximately 62 m of frontage on William St. W. and 73 m of frontage on Daniel St. S.



*Figure 1 Streetview of 10 William St. W.*

The subject land has an existing commercial retail building. The building is the former LCBO building which was vacated in 2019. There is a new commercial retail tenant in the building.

North-east of the subject property is the Algonquin Trail.



*Figure 2 Streetview of the Algonquin Trail north-east of 10 William St. W.*

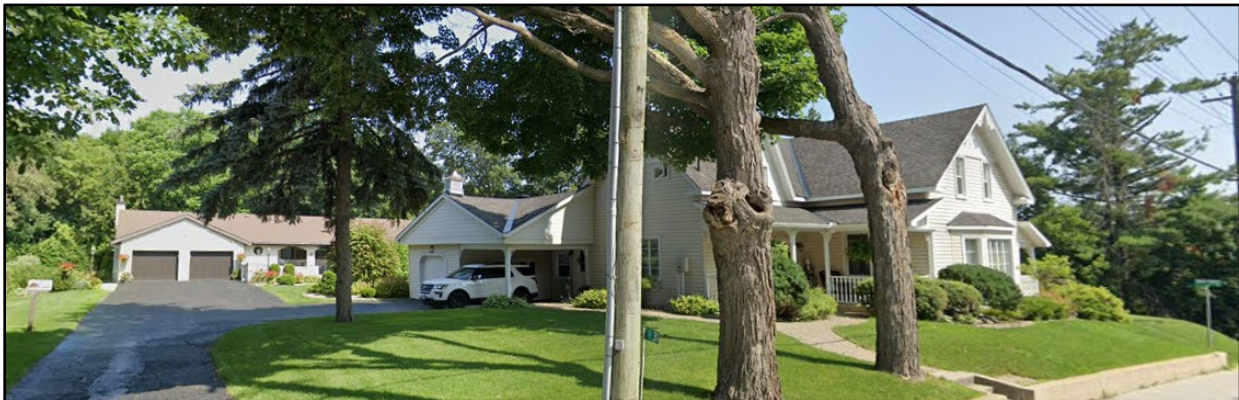


South-east of the subject property are 8, 12, 16 and 24 Daniel St. S. 8, 12 and 16 Daniel St. S. are existing dwellings. 24 Daniel St. S. is an existing automotive repair business.



*Figure 3 Streetview of the properties south-east of 10 William St. W.*

South-west of the subject property are existing dwellings 29 and 31 Daniel St. S., existing dwellings.



*Figure 4 Streetview of 29 and 31 Daniel St. S.*

North-west of the subject property are 6 John St. S., an existing multi-unit residential building, and a town owned natural green space.



*Figure 5 Streetview of 6 John St. S. with Town owned green space onto the right*



Figure 6 is an aerial photograph of the area from 2024.

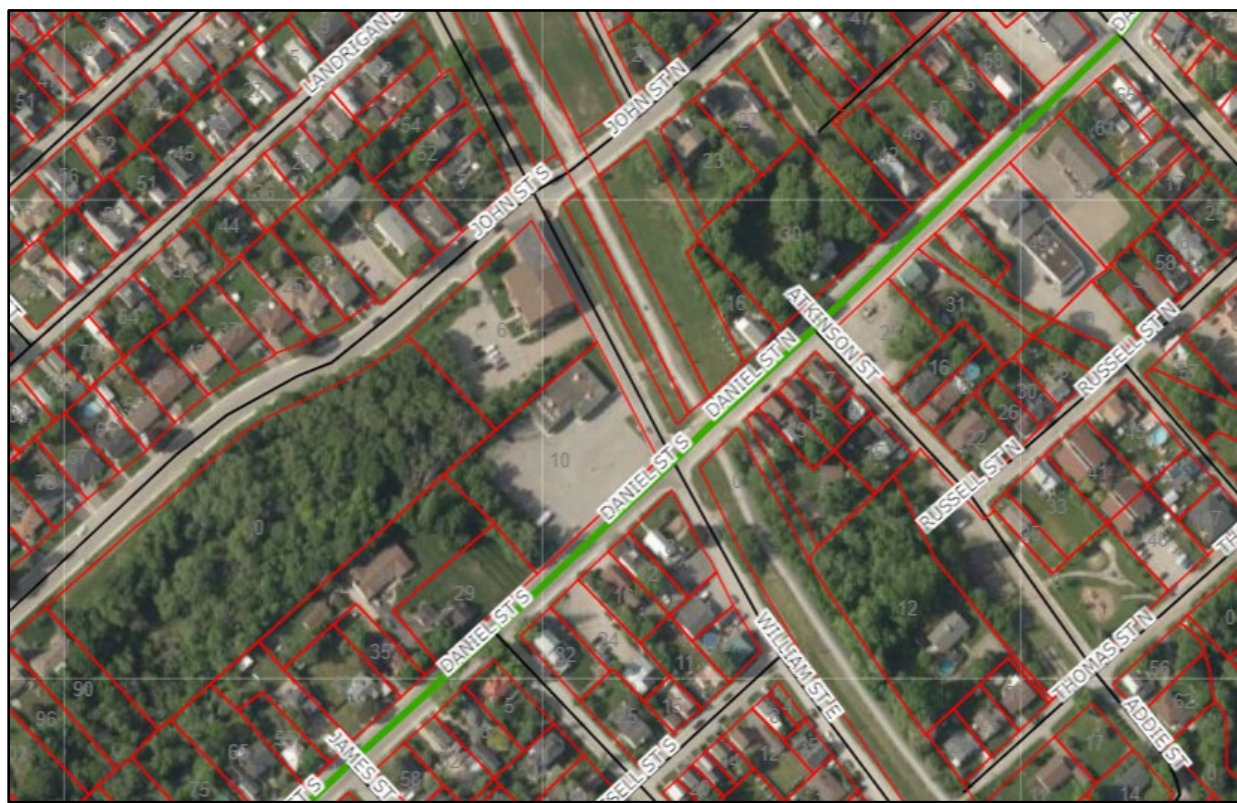


Figure 6 Aerial photo from 2024 of the subject and surrounding lands

## Discussion:

### Provincial Planning Statement, 2024

The Provincial Planning Statement, 2024 Section 2.8.1 sets out policies for supporting a modern economy which include:

- “1. Planning authorities shall promote economic development and competitiveness by:
  - a) providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs;
  - b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses;
  - c) identifying strategic sites for investment, monitoring the availability and suitability of employment sites, including market-ready sites, and seeking to address potential barriers to investment;
  - d) encouraging intensification of employment uses and compatible, compact, mixed-use development to support the achievement of complete communities; and
  - e) addressing land use compatibility adjacent to employment areas by providing an

appropriate transition to sensitive land uses.”

### **Official Plan Policies**

The subject property is designated ‘Mixed Use Commercial Residential Area’ subject to Section C4.11.2 as per “Schedule A” of the Town of Arnprior Official Plan.

It is the objective of the Mixed Use Residential/Commercial designation to:

- a) Provide for the development of new medium and higher density residential uses along with complementary low impact non-residential uses;
- b) Encourage the consolidation, intensification and expansion of existing commercial uses and to foster a more pedestrian oriented environment as redevelopment occurs;
- c) Recognize existing commercial and industrial uses as legal permitted uses and to allow for their expansion as appropriate;
- d) Provide for medium-sized retail uses such as a food store and drug store in appropriate locations;
- e) Incorporate space for retail and service uses where required, to address the needs of the local population;
- f) Provide for orderly, phased redevelopment of existing single use commercial properties into multi use commercial areas that accommodate complementary retail, service, office employment and residential uses;
- g) Require that all new retail, restaurant and personal service uses in be integrated with community and residential uses in a mixed use setting in a manner that is pedestrian oriented;
- h) Ensure that Daniel Street and Madawaska Boulevard are developed in an attractive manner that reflects its importance as the main entrances to the downtown;
- i) Require that new buildings be aligned along Daniel Street and Madawaska Boulevard with consistent setbacks and designed to respect transitions in height to adjacent low and rise areas; and,
- j) Allow for some flexibility in terms of the arrangement and location of all uses and the phasing of their development to provide for the mixing of uses.

Section C4.11.2 states:

“The maximum permitted size of a retail use is 100 square metres, subject to the provisions of the implementing zoning by-law on the lands that are the subject of this Section on Schedule A to this Plan. The expansion of existing

non-residential uses shall require an amendment to the implementing zoning by-law to ensure that development in this area is carefully managed.”

### **Zoning By-law Provisions**

The zoning of the property as MU-RC implements the intent of the Official Plan policy.

Exception zone 3, restricts use of the property to the following:

- existing uses;
- business office;
- business service use;
- personal service use; and
- retail store.

The exception restricts permitted uses as per the following special provision: “Business offices, business service uses, personal service uses and retail stores shall have a net floor area that is 100 square metres or less; and existing non-residential uses can only expand such that the use does not exceed 100 square metres of net floor area.”

The Town’s existing Official Plan policies and Zoning By-law provisions were intended to permit limited compatible non-residential development in existing residential areas along Daniel St. The exception limiting the size of non-residential uses was intended to ensure businesses along Daniel St. did not undermine the success of downtown Arnprior, did not create traffic issues on Daniel St. and consider the impact of non-residential uses on existing neighbouring residential uses.

The subject property is an existing legal non-conforming retail use as the retail use floor area has exceeded the maximum floor area for permitted non-residential uses as set out in MU-RC\*3 since prior to the implementation of exception 3.

The current application seeks to remove the restriction on the maximum size of non-residential uses and to permit the following non-residential uses included in the standard MU-RC provisions:

- Art gallery
- Banquet hall
- Brewery
- Business office
- Business service use
- Childcare center
- Commercial fitness center
- Commercial recreation use, private
- Community center
- Financial institution
- Funeral home
- Home improvement center (excluding outdoor storage)
- Hotel
- Library

- Medical office
- Motel
- Museum
- Personal service use
- Place of entertainment
- Place of worship
- Private club
- Refreshment stand
- Refreshment vehicle
- Repair shop
- Restaurant (excluding an outdoor patio)
- Retail store
- School, commercial
- School, commercial trade
- School, private
- Trade and convention center

Uses permitted in the MU-RC zone that the applicant is not requesting be permitted include:

- Animal clinic
- Motor vehicle uses (Motor vehicle rental establishment and/or sales establishment)
- Parking lot, commercial
- Outdoor patio
- Lumber yard

The applicant has provided a Planning Justification Report, prepared by Jp2g Consultants, in support of their application.

The temporary zone (T2) approved in May 2024, to permit an industrial use with no outdoor storage, for a period of up to 3 years, until May 2027, would not be affected by the current application.

## **Process**

May 26, 2025 – Council requested to authorize holding the statutory public meeting

June 23, 2025 – Public meeting on the application

July 14, 2024 – Decision on the application by Council. Should Council pass the amending by-law or refuse to pass the by-law, a 20-day appeal period to the Ontario Land Tribunal will apply.

## **Options:**

1. Refuse the requested zoning by-law amendments in full without going to public meeting. This is not recommended by staff.

## **Policy Considerations:**

As outlined in the Discussion section of this report.

## **Financial Considerations:**

Not applicable.

## **Meeting Dates:**

May 26, 2025 – Council requested to authorize holding the statutory public meeting

June 23, 2025 – Public meeting on the application

July 14, 2024 – Decision on the application by Council.

## **Consultation:**

The zoning by-law amendment application will be circulated to the County of Renfrew, Renfrew County District School Board, Renfrew County Catholic District School Board, Conseil des Ecole Catholique centre-est, Enbridge Gas, Ontario Power Generation, Hydro One Networks Inc., McNab/Braeside, City of Ottawa, Ministry of Municipal Affairs and Housing, Arnprior Fire Chief, Arnprior Chief Building Official, General Manager of Operations, and CAO for comment.

## **Documents:**

1. Key Plan
2. Planning Justification submitted by the applicant

## **Signatures**

**Reviewed by Department Head:** Alix Jolicoeur

**Reviewed by General Manager, Client Services/Treasurer:** Jennifer Morawiec

**CAO Concurrence:** Robin Paquette

**Workflow Certified by Town Clerk:** Kaila Zamojski



## Document 1 – Key Plan



**Document 2 - Planning Justification submitted by the applicant**

Jp2g No. 24-7022A

May 8, 2025

Town of Arnprior  
105 Elgin Street West  
Arnprior, ON  
K7S 0A8

Attn Alix Jolicoeur, Manager of Community Services/Planner  
[ajolicoeur@arnprior.ca](mailto:ajolicoeur@arnprior.ca)

**Re Application for Zoning By-law Amendment  
10 William Street West  
Lot 60, Part of Lot 61, Plan 115  
Town of Arnprior**

Dear Ms. Jolicoeur,

Jp2g Consultants Inc. has been retained by the owner of the above-noted property in respect of a Zoning By-law Amendment application to expand the range of permitted commercial uses on the subject property.

Further to our meeting on April 7, 2025, the intent of this letter is to evaluate the proposed Zoning By-law Amendment within the context of existing land use policies and regulations, including the 2024 Provincial Planning Statement, the Town of Arnprior Official Plan, and the Town of Arnprior Zoning By-law No. 6875-18.

### **Site and Surrounding Context**

The subject site is located in downtown Arnprior at the northwest corner of William Street West and Daniel Street South (Map 1). The site is adjacent to the Algonquin Trail and has existing vehicular access from both William Street West and Daniel Street South (Map 2). The roughly rectangular site is approximately 4,925 square metres in area with approximately 60 metres of frontage on William Street West and 75 metres of frontage on Daniel Street South. The majority of the site is covered by an existing one-storey vacant commercial building and a paved parking lot. There are small, landscaped areas in the boulevard along William Street West; along the northwest property line where the site abuts an apartment building; and along the southwest property line where the site abuts two existing dwellings. The subject site was formerly occupied by the LCBO, which has since relocated to the intersection of Daniel Street South and Winners Circle Drive.

### **The Proposal**

The application for zoning by-law amendment proposes to amend the MU-RC\*3 zone to permit a wider range of permitted uses on the property and to remove the special provision which limits all uses to a net floor area of 100 square metres or less. While there is no redevelopment proposed for the subject land at this time, the



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12 International Dr.  
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**Arnprior**  
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Arnprior, ON, K7S 3W4  
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[Arnprior@jp2g.com](mailto:Arnprior@jp2g.com)



proposed Zoning By-law Amendment would provide the property owner with greater flexibility than the current exception provides. The elimination of the aforementioned limitation would not preclude the expansion of the existing building, but as discussed in the zoning section of this report, any expansion to the building would need to comply with all applicable zoning provisions and standards.

The application proposes to permit the full range of uses listed in the parent MU-RC zone, except for certain uses that were identified through pre-consultation discussions with Town staff as having the potential to be incompatible with the surrounding area.

The application proposes to amend the description of the MU-RC\*3 zone as follows.

Current MU-RC\*3 Text:

Exception Number	Base Zone	Permitted Uses	Special Rules and/or Provisions that apply that are different than in the Base Zone
MU-RC*3	MU-RC	<ul style="list-style-type: none"> <li>Existing uses</li> <li>Business office</li> <li>Business service use</li> <li>Personal service use</li> <li>Retail store</li> </ul>	<p>Business offices, business service uses, personal service uses and retail stores shall have a net floor area that is 100 square metres or less</p> <p>Existing non-residential uses can only expand such that the use does not exceed 100 square metres of net floor area</p>

Proposed MU-RC\*3 Text:

Exception Number	Base Zone	Permitted Uses	Special Rules and/or Provisions that apply that are different than in the Base Zone
MU-RC*3	MU-RC	<p>All uses permitted in the MU-RC Zone, except for the following:</p> <ul style="list-style-type: none"> <li>Animal clinic</li> <li>Motor vehicle uses</li> <li>Parking lot, commercial</li> <li>Outdoor patio</li> <li>Lumber yard</li> </ul>	No special provisions

## **Planning Analysis**

### **Provincial Planning Statement, 2024 (PPS)**

The PPS provides policy direction on matters of provincial interest related to land use planning and development. The PPS is issued under the authority of Section 3(1) of the *Planning Act* and came into effect on October 20, 2024. As a key part of Ontario's policy-led planning system, the PPS sets the policy foundation for regulating the development and use of land in the province.

The subject lands are located within a settlement area, being within the Town of Arnprior. Section 2.3.1.1 of the PPS states that settlement areas shall be the focus of growth and development and directs that development should be efficient in terms of the use of economic resources and should create healthy, liveable and safe communities. The subject property represents an underutilized site that is fully served by municipal infrastructure. The proposed Zoning By-law Amendment would increase the range of uses that are compatible with the surrounding area and would in turn provide the opportunity to increase the diversity of uses within the Town. The proposed amendment is consistent with the objectives and policies of the PPS.

### **Town of Arnprior Official Plan**

The subject site is designated "Mixed Use Residential/Commercial Area (MURCA)" in the Town of Arnprior Official Plan. There are several objectives identified for the MURCA designation, including to "provide for the development of new medium and higher density residential uses along with complementary low impact non-residential uses" (S. C4.2 a)). The MURCA designation encourages and permits a full range of commercial uses (S. C4.3). The Official Plan also recognizes the ability of existing commercial uses to continue to operate and expand, as appropriate (S. C4.2 c). The proposal implements the Official Plan designation by allowing a fuller range of uses, while remaining sympathetic to the existing surrounding neighbourhood by not permitting several uses that have the potential to be incompatible.

### **Town of Arnprior Zoning By-law No. 6875-18**

As noted elsewhere, the subject lands are zoned Mixed Use Residential/Commercial Special Exception Three (MU-RC\*3) on Schedule "A" attached to the Town of Arnprior Zoning By-law No. 6875-18. The MU-RC\*3 zone is site-specific zoning which limits the permitted uses for the site to:

- Existing uses
- Business office
- Business service use
- Personal service use
- Retail store

The site-specific MU-RC\*3 zoning also includes a special provision to restrict the net floor area of permitted uses to 100 square metres, which represents the floor area of the existing building. The property is also subject to a temporary use by-law (#7485-24) that expires on May 13, 2027, that is not proposed to be removed at this time.

As noted, the proposed amendment seeks to expand the uses permitted for the subject site to those listed in the parent MU-RC zone, save and except for certain limitations as outlined in this report, to allow for a broader range of uses on the property that are compatible with the surrounding area. The amendment would also remove any current floor area limitations.

The existing site has ample ability to accommodate the required parking to support a wide range of uses. As this amendment is not proposing to amend any provisions in the by-law other than permitted uses, all other standards would continue to apply. Any use that is ultimately proposed for the property will need to comply with all other standards, including parking.

It is concluded that the proposed amendment complies with the applicable policies of the Town of Arnprior Official Plan.

### **Conclusions and Recommendations**

The proposed application for Zoning By-law Amendment has been reviewed against the policies contained in the PPS, the Town of Arnprior Official Plan and the standards in the Town of Arnprior Comprehensive Zoning By-law. Based on the analysis contained in this letter, it is our opinion that the subject application constitutes good planning and should be approved.

Yours truly,

**Jp2g Consultants Inc.**

Prepared by:



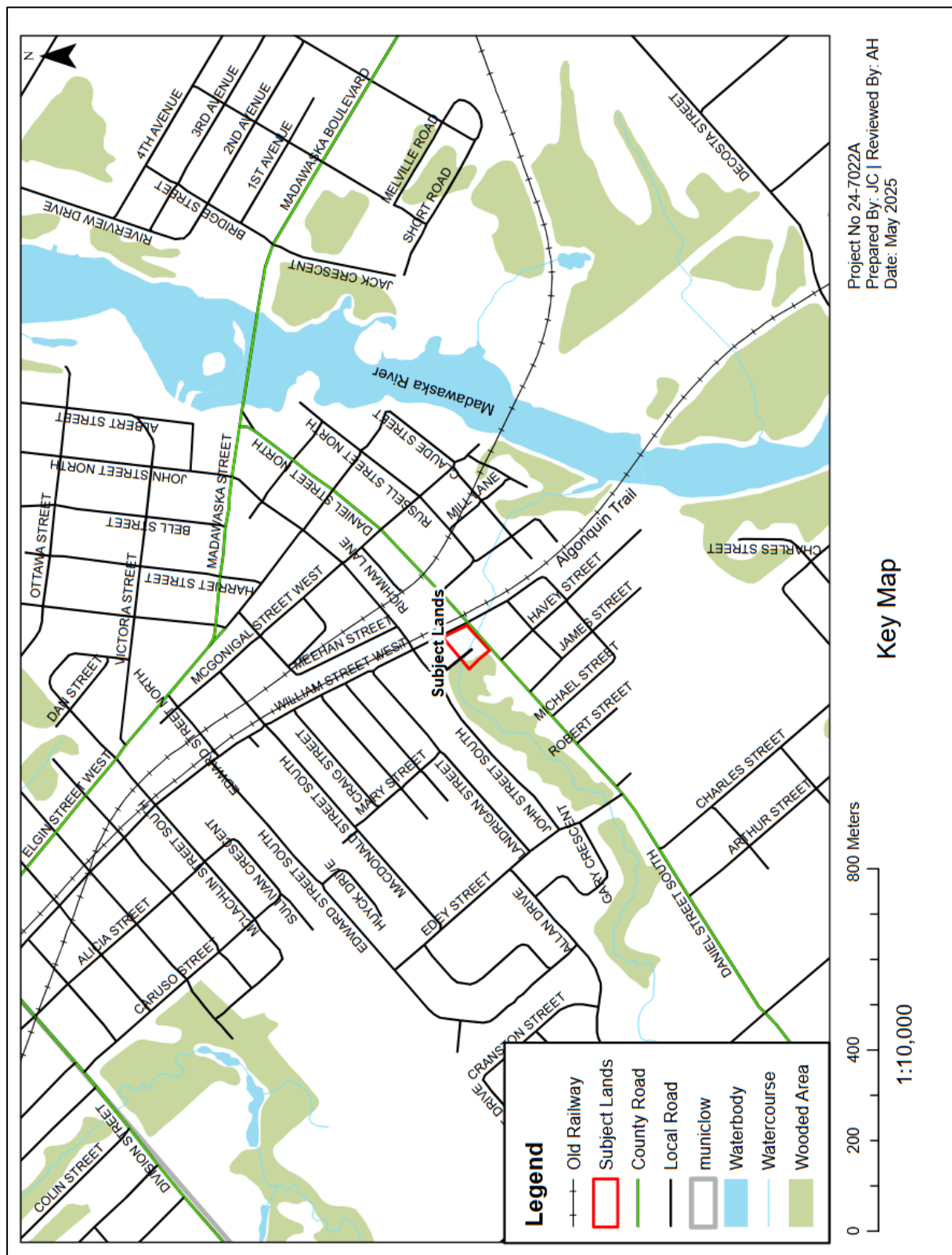
Janine Cik, B.A. (Hons)  
Junior Planner



Anthony Hommik, RPP, MCIP  
Manager - Planning Services | Senior Planner

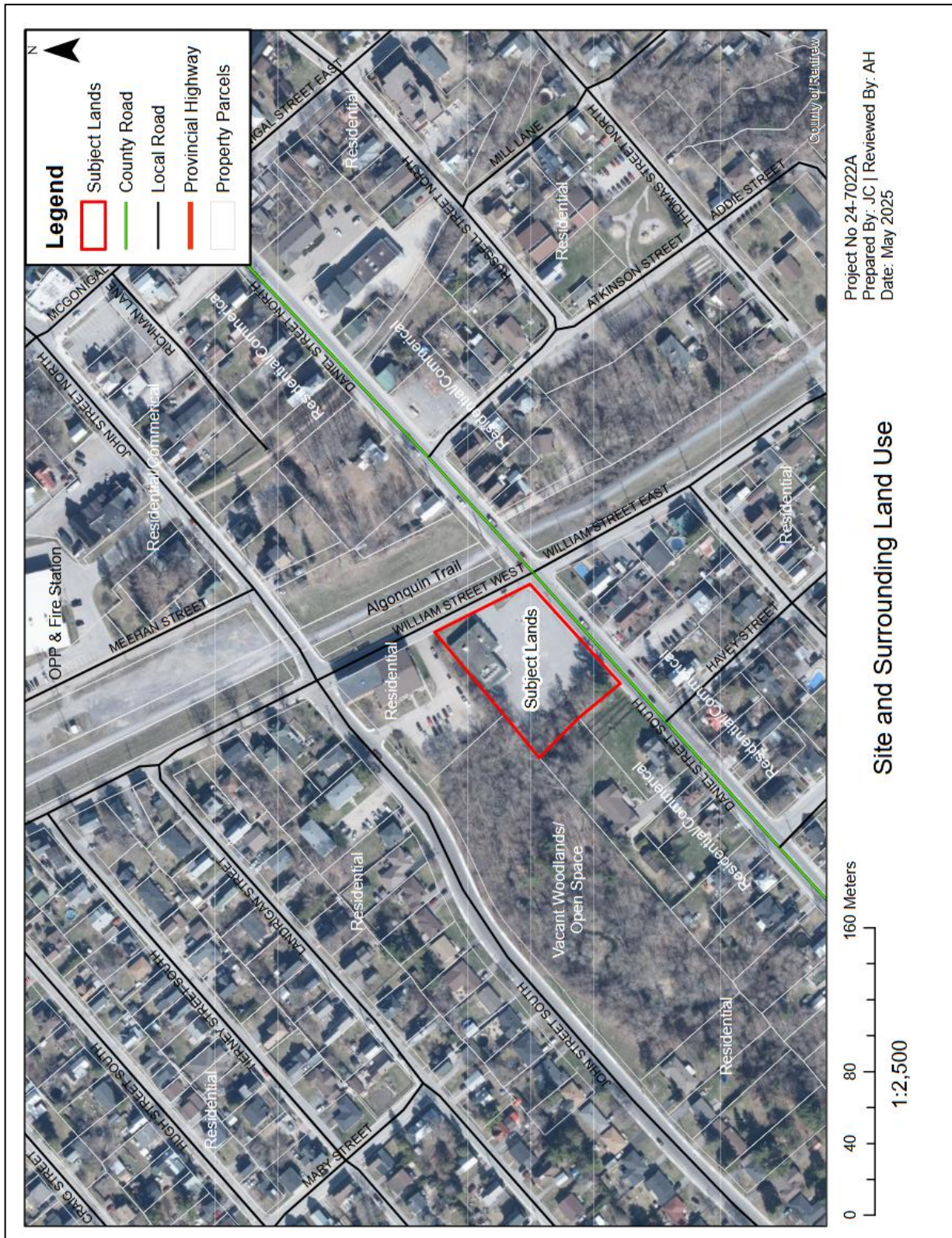
cc Dez Bair-Patel, Client

Map 1: Key Map





Map 2: Site and Surrounding Area





## Town of Arnprior Staff Report

**Subject:** Zoning By-law Amendment 7/24 – Sawmill Flats Phase 3

**Report Number:** 25-05-26-02

**Report Author and Position Title:** Alix Jolicoeur, Manager of Community Services / Planner

**Department:** Community Services

**Meeting Date:** May 26, 2025

---

### Recommendations:

**That** Council adopts a by-law to amend Zoning By-law 6875-18 for land legally described as McNab Concession C, Part of Lot 3, Part 1 on Registered Plan 49R-19701, Arnprior Ontario, from “Mixed-Use Residential/Commercial Exception 26 (MU-CE\*26)” to “Mixed-Use Residential/Commercial Exception 49 (MU-CE\*49)” to:

- Reduce the setback to watercourse from 30 m to 4.86 m for a retaining wall and parking area;
- Increase the maximum building height from 15 m to 16.8 m;
- Reduce the minimum visitors parking rate from 0.25 spaces per apartment dwelling unit to 0.20 spaces per apartment dwelling unit; and
- Permit the balconies to encroach into the minimum required front yard by up to 1.25 m

in order to permit development of a 5-storey, 57-unit multi-unit residential building with underground parking as proposed.

**Further That** Council has considered all written and oral submissions received on this application, the effect of which has helped Council make an informed decision

### Background:

**Owner:** Hyor Holdings Inc.

**Legal Description:** legally described as McNab Concession C, Part of Lot 3, Part 1 on Registered Plan 49R-19701, Arnprior Ontario

**Area of Land:** 0.60 ha

**Existing Structures:** vacant

**Official Plan:** Mixed Use Residential/Commercial Area

**Zoning:** Mixed-Use Residential/Commercial Exception 26 (MU-CE\*26)

An application for Zoning By-law amendment was received to:



- Reduce the setback to watercourse from 30 m to 4.86 m for a retaining wall and parking area;
- Increase the maximum building height from 15 m to 16.8 m;
- Reduce the minimum required parking from 71 spaces to 68 spaces; and
- Permit the balconies to encroach into the minimum required front yard by 1.25 m.

The proposed development is subject to a concurrent application for site plan control approval. The proposed development is a 16.8 m, 5-storey 57-unit apartment building with underground parking. See the proposed Site Plan in Document 2, attached.

## Context

The subject lands are located on Jack Cres between 12 and 30 Jack Cres with the Madawaska River to the west.



*Figure 1 Streetview of the subject lands*

12 Jack Cres, Phase 2 of Sawmill Flats, is north of the subject property. It is an existing 4-storey apartment building with 59 units.



*Figure 2 Streetview of 12 Jack Cres, Phase 2 of the Sawmill Flats development*

South of the subject property is 30 Jack Cres, an existing 5-storey retirement living building.



*Figure 3 Streetview of 30 Jack Cres*

East of the subject property across Jack Cres, is vacant land subject to a current site plan application for a 185-unit apartment complex.



*Figure 4 Streetview of vacant land across the street from the subject property*



Figure 5 is an aerial photograph of the area from 2024.



*Figure 5 Aerial photo from 2024 of the subject and surrounding lands*

## **Discussion:**

### **Provincial Planning Statement, 2024**

The Provincial Policy Statement, 2024 section 2.2.1. requires planning authorities to “provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by...permitting and facilitating all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units... [and] promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities and supports the use of active transportation.”

Section 4.1. states:

- “1. Natural features and areas shall be protected for the long term.
2. The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be

maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.”

There are no PPS policies which speak directly to height, balcony location or parking rates.

The proposed development is residential intensification that will efficiently use land, resources and infrastructure. The requested reduction in the setback to the watercourse from 30 m to as little as 4.86 m is supported by the environmental impact study (EIS) prepared in support of the application. The EIS was peer reviewed and the recommendations include allowing a reduction to the setback to as little as 4.86 m as shown on the proposed site plan, provided conditions outlined in the EIS are met. Recommendations include limiting the extent of exposed soils and planting with native species (see attachment xx for the full EIS for the project).

### **Official Plan Policies**

The subject property is designated Mixed Use Residential/Commercial Area in the Town of Arnprior Official Plan.

The objectives of the Mixed Use Residential/Commercial Area designation, as per section C4.2, include:

“a) Provide for the development of new medium and higher density residential uses along with complementary low impact non-residential uses;...”

Permitted uses in the Mixed Use Residential/Commercial Area designation, as per section C4.3, include medium and high-density residential uses up to 6 storeys.

Section C4.9 sets out the following policies for development within the Mixed Use Residential/Commercial designation:

“In considering an application for development in the Mixed Use Residential/Commercial Area designation, the Town must be satisfied that:

- a) Adequate on-site parking facilities and snow storage facilities are provided for the development with such parking being provided in locations that are compatible with surrounding land uses;
- b) Every effort has been made to provide motor vehicle access to the lot from an abutting street where possible, without unduly creating traffic infiltration issues in the surrounding area;
- c) Vehicular access points to multiple uses on the lot are coordinated and consolidated where possible;
- d) New buildings that are adjacent to low density areas are designed to respect a 45-degree angular plane measured from the boundary of a lot line which separates the lot from an adjacent lot with a low-rise residential dwelling;
- e) The development will have minimal impacts on adjacent properties in relation to grading, drainage, access and circulation, and privacy;

- f) Any loading and storage facilities that are provided are buffered so as to minimize disruption and the enjoyment of neighbouring residential properties;
- g) Improvements to the streetscape, such as soft landscaping, lighting fixtures, benches and public art, are part of the overall project design;
- h) New buildings are designed to present their principal building facades with an appropriate building design that faces the public road;
- i) Barrier free access for persons using walking or mobility aids are provided in all public and publicly accessible buildings and facilities and along major pedestrian routes;
- j) All lighting will be internally oriented so as not to cause glare on adjacent properties or public roads;
- k) Site and building services and utilities such as waste storage facilities, loading, air handling equipment, hydro and telephone transformers and switching gears and metering equipment, are located and/or screened from public roads and adjacent residential areas or other sensitive land uses, in order to buffer their visual and operational effects; and,
- l) Waste storage areas are integrated into the principal building on the lot and where waste storage areas are external to the principal building, they are enclosed and not face a public road.”

The proposed development of a 5-storey multi-unit residential building is consistent with the permitted uses in the Mixed Use Residential/Commercial Area designation.

In the opinion of staff, the development as proposed is consistent with the policies in section C4.9 for development in the Mixed Use Residential/Commercial Area designation. The requested amendment includes a reduction of on-site visitors parking which results in a total number of parking for the project of 68 spaces whereas the zoning by-law requires 71, including 57 for residents and 14 for visitors. The reduction of parking requested results in 11 visitors parking spaces instead of 14. The applicant is the developer and owner of the adjacent Phase 1 and Phase 2 Sawmill Flats projects. They have indicated that Phases 1 and 2 are almost fully leased and there are still approximately 35 vacant parking spaces for these Phases as the units are geared to seniors. Phase 3 will also be geared to seniors and is expected to have similar parking needs once leased. The applicant has also agreed to establishing a shared parking agreement over the three properties through a joint use maintenance agreement to ensure that if there was ever insufficient parking specifically for Phase 3, Phases 1 and 2 could provide the additional parking needed.

In the opinion of staff, the new buildings are designed to present a façade with an appropriate building design to the public road. This has included a proposal for balconies encroaching into the minimum required front yard.

Section D1.2 e) of the Official Plan identifies that “Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in Sections D1.2 (a), (b) and (c) of this Plan, unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no

negative impacts on the natural features or on their ecological functions. Additional policies on adjacent lands are contained in Section D1.10.1 of this Plan.”

All watercourses are considered to be fish habitat or potential fish habitat. Any development or site alterations within 120 m of fish habitat or potential fish habitat is only permitted if it can be demonstrated there will be no negative impact to the fish habitat.

Section D1.13 states that “For existing lots of record, new development should be set back 30 metres, if possible, otherwise as far back as the lot permits with non-disturbance of the native soils and very limited removal of the shoreline vegetation.”

An environmental impact study has been submitted and peer reviewed in support of the application. The EIS recommends permitting a reduction of the setback to the watercourse from 30 m to as little as 4.86 m provided the mitigation measures outlined in the EIS are met/followed. In the opinion of staff, based on the recommendations of the EIS the proposed reduction to the setback to the watercourse is consistent with the intent of the official plan policies.

### **Zoning By-law Provisions**

The current zoning of the land is Mixed-Use Residential/Commercial Exception 26 (MU-CE\*26).

The Mixed-Use Residential/Commercial Exception 26 (MU-CE\*26) permits apartment dwellings.

Exception 26 states that for all uses in the MU-RC zone:

“Maximum height – 15 metres”

The following table illustrates how the proposed building meets the required zone provisions in MU-RC\*26

<b>Provisions</b>	<b>Required</b>	<b>Proposed</b>
<b>Minimum lot frontage</b>	30.0 m	45.0 m
<b>Minimum front yard</b>	4.5 m	+ 4.5 m for main building with balconies at approximately 4 m
<b>Minimum rear yard</b>	7.5 m	33.71 m
<b>Minimum interior side yard</b>	2.4 m	2.4 m & 17 m

<b>Maximum height</b>	15 m (as per exception 26)	16.80 m
<b>Required tenant parking per unit</b>	1 per apartment unit	1 per apartment unit
<b>Visitors parking per unit</b>	0.25 per apartment unit	0.2 per apartment dwelling (short 3 visitors parking spaces)

The requested increase in the maximum height from 15 m to 16.8 m to permit a 5-storey building is consistent with the Official Plan designation for the subject property which permits up to 6-storeys. Considering the adjacent properties contain 4 or 5 storey existing residential buildings the proposed development is compatible with existing development. Staff are therefore recommending approval of the increase to the maximum height.

The requested reduction in total parking for the project is to reduce required parking from 71 spaces to 68 spaces. This results in a reduction in the visitors parking rate from 0.25 per dwelling unit to 0.2 per dwelling unit. Phases 1 and 2 of Sawmill Flats are under the same ownership and geared to the same clientele, and the applicant has advised there is current excess parking despite the buildings being almost fully occupied. Based on this consideration and that there is no required reduction in the residential parking per unit required, staff recommend approval of a reduced visitors parking rate of 0.2 per dwelling unit.

The balconies project approximately 0.5 m into the minimum required front yard. Section 6.4.10 of the zoning by-law sets out projections into minimum required yards for residential zones. Section 6.4.10 permits balconies to encroach a maximum of 1.5 m into a minimum required front yard. The zoning of the subject property is Mixed-Use Residential Commercial which is not subject to the permitted encroachments set out in section 6.4.10 therefore a zoning by-law is required for the projection of balconies into the minimum required front yard.

In the opinion of staff, permitting the balconies to project into the minimum required front yard is consistent with the provisions applicable in residential zones and are therefore recommending approval of the requested permitted projection.

Staff recommend approval of the reduction of the setback to watercourse from 30 m to as little as 4.86 m based on the recommendations of the EIS as discussed previously in the report.

## Process

April 14, 2025 – Council authorized holding the statutory public meeting

May 12, 2025 – Public meeting on the application

May 26, 2025 – Decision on the application by Council. Should Council pass the amending by-law or refuse to pass the by-law, a 20-day appeal period to the Ontario Land Tribunal will apply.

The applicant has submitted an application for Site Plan Control Amendment Approval for the subject lands, with all the supportive studies and plans included. Building permits will be required for the building.

### **Options:**

1. Refuse the requested zoning by-law amendments in full. This is not recommended by staff.
2. Refuse some of the requested zoning by-law amendments. This is not recommended by staff.

### **Policy Considerations:**

As outlined above.

### **Financial Considerations:**

Not applicable.

### **Meeting Dates:**

1. April 14, 2025 – Council authorized holding the statutory public meeting May 12, 2025
2. May 12, 2025 – Public meeting on the application
3. May 26, 2025 – Decision on the application by Council.

### **Consultation:**

The zoning by-law amendment application was circulated to the County of Renfrew, Renfrew County District School Board, Renfrew County Catholic District School Board, Conseil des Ecoles Catholiques centre-est, Enbridge Gas, Ontario Power Generation, Hydro One Networks Inc., McNab/Braeside, City of Ottawa, Ministry of Municipal Affairs and Housing, Arnprior Fire Chief, Arnprior Chief Building Official, General Manager of Operations, and CAO for comment.

## **Comments received**

Enbridge Gas

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions.

Please continue to forward all municipal circulations and clearance letter requests electronically to [MunicipalPlanning@Enbridge.com](mailto:MunicipalPlanning@Enbridge.com).

## **Documents:**

1. Key Plan
2. Site Plan
3. Elevations
4. Zoning Brief submitted by the applicant
5. Environmental Impact Study submitted by the applicant

## **Signatures**

**Reviewed by Department Head:** Alix Jolicoeur

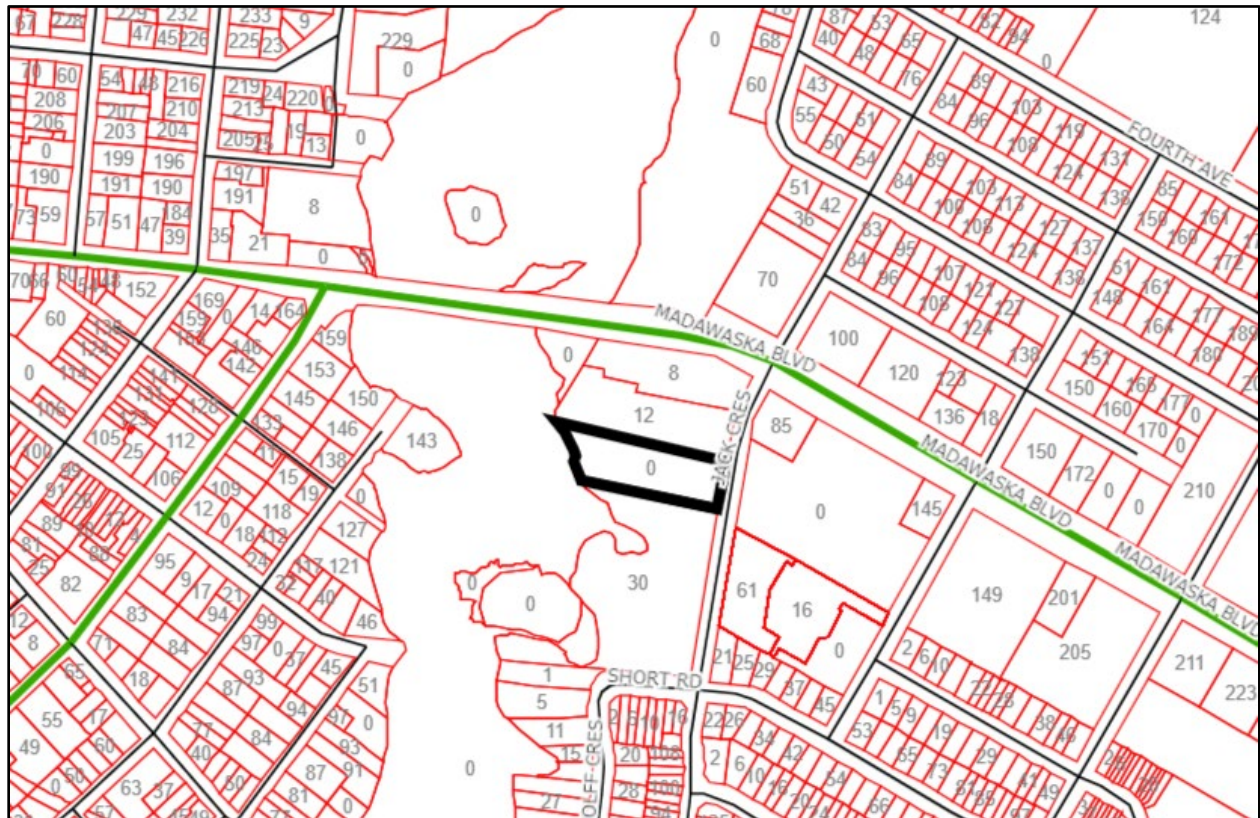
**Reviewed by General Manager, Client Services/Treasurer:** Jennifer Morawiec

**CAO Concurrence:** Robin Paquette

**Workflow Certified by Town Clerk:** Kaila Zamojski



## Document 1 – Key Plan

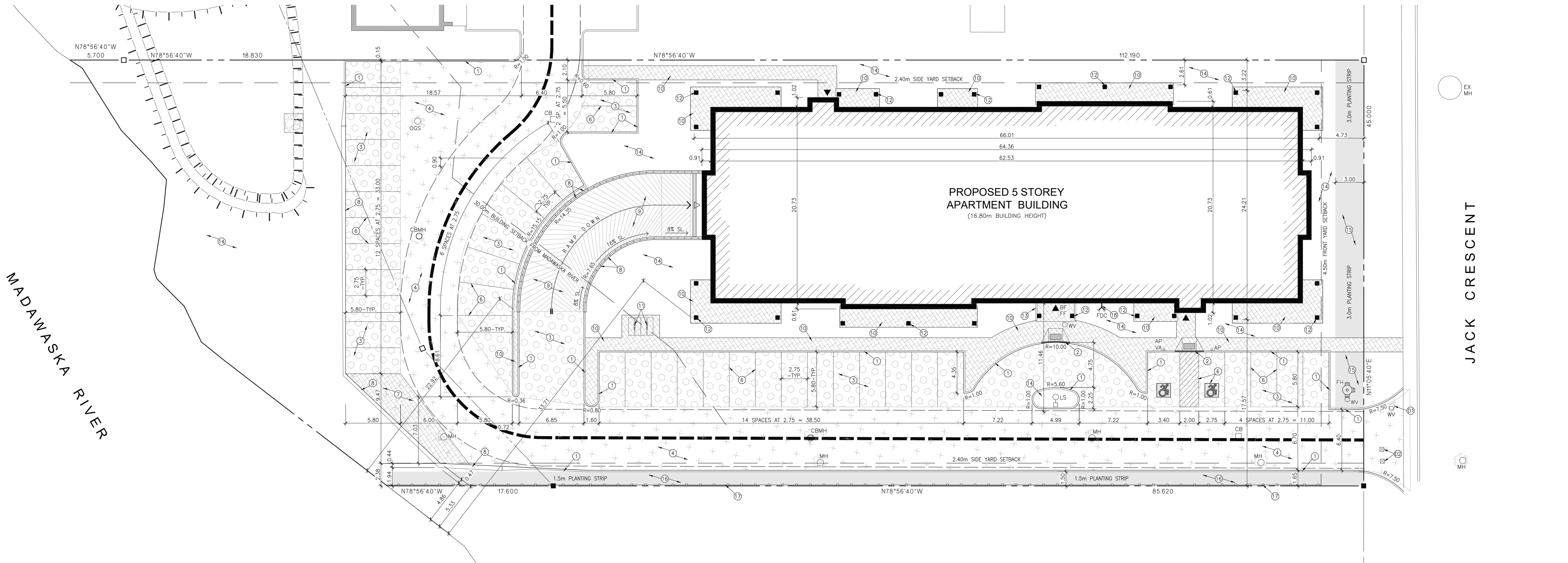




## Document 2 – Site Plan



gb



SITE DATA:

MUNICIPAL ADDRESS: JACK CRESCENT, ARNPRIOR, ONTARIO  
LEGAL DESCRIPTION: PLAN OF SURVEY OF PART OF LOT 3, CONCESSION C, GEOGRAPHIC TOWNSHIP OF McNAB, TOWN OF ARNPRIOR, COUNTY OF RENFREW AS PREPARED BY ADAM KASPRZAK SURVEYING LTD., O.L.S., RENFREW, ONTARIO DATED FEBRUARY 1, 2021.

ZONING:

MU-RC: MIXED-USE RESIDENTIAL/COMMERCIAL  
REQUIRED PROVIDED  
NO REQUIREMENT 5,546.73 m<sup>2</sup> (1.370 ACRES)  
MIN. 30.0 m 45.000 m

SITE AREA:

LOT FRONTAGE: 17.600 m  
REQUIRED BUILDING SETBACKS: FRONT YARD: 4.50 m 4.73 m  
SIDE YARD: 2.40 m 2.61 m  
REAR YARD: WATERBODY SETBACK 30.00 m BLDG: 33.71 m  
REAR WALL: 22.92 m

BUILDING AREA 1,333.70 m<sup>2</sup> (14,355.83 ft<sup>2</sup>)  
GROSS FLOOR AREA PARKING GARAGE: 1,333.70 m<sup>2</sup> (14,355.83 ft<sup>2</sup>)  
1ST THRU 5TH FLOOR: 6,668.50 m<sup>2</sup> (71,779.14 ft<sup>2</sup>)  
16.80 m

BUILDING HEIGHT (INCLUDES BALCONY COLUMNS) 1,338.54 m<sup>2</sup> (14,407.92 ft<sup>2</sup>)  
BUILDING FOOTPRINT BLDG. FOOTPRINT/SITE AREA: 1,338.54 m<sup>2</sup> / 5,546.73 m<sup>2</sup> = 24.13%  
LOT COVERAGE 2,116.44 m<sup>2</sup> (22,783.48 ft<sup>2</sup>) = 38.16%  
TOTAL ASPHALT AREA; (INCLUDES RAMP RET. WALL) 2,091.75 m<sup>2</sup> (22,517.69 ft<sup>2</sup>) = 37.71%  
TOTAL LANDSCAPE/HARDSCAPE AREA: 1.25 SPACE/UNIT  
57 UNITS x 1.25 = 72 SPACES

PARKING REQUIRED: 25 STANDARD PARKING SPACES  
1 TYPE 'A' PARKING SPACE  
1 TYPE 'B' PARKING SPACE  
PARKING PROVIDED: 39 STANDARD PARKING SPACES  
1 TYPE 'A' PARKING SPACE  
1 TYPE 'B' PARKING SPACE  
68 TOTAL SPACES PROVIDED

SITE PLAN NOTES

- STANDARD CONCRETE CURB - REFER TO CIVIL DWGS.
- DROPPED FLUSH CURB (BARRIER FREE ACCESS) c/w TACTILE WARNING INDICATOR - REFER TO CIVIL DWGS.
- STANDARD DUTY ASPHALT - REFER TO CIVIL DWGS.
- HEAVY DUTY ASPHALT - REFER TO CIVIL DWGS.
- PAINTED LINE MARKINGS AND GRAPHICS
- CONCRETE SIDEWALK/PATIO - REFER TO CIVIL/LANDSCAPE DWGS.
- CONCRETE PAD - TEMPORARY REFUSE CONTAINER STORAGE
- RETAINING WALL AND FENCE - REFER TO CIVIL/ LANDSCAPE DWGS. ENGINEERED SHOP DWGS. ARE REQUIRED.
- HEATED CONCRETE PARKING GARAGE RAMP - REFER TO STRUCTURAL DWGS.
- CONCRETE SIDEWALK/FIRST FLOOR SUITE PATIO - REFER TO LANDSCAPE DWGS.
- BIKE RACKS - (2 BIKES/RACK) - 4 TOTAL BIKES (0.6m x 1.9m SPACE ALLOCATION)
- CANOPY/BALCONY COLUMN
- LINE OF OVERHEAD CANOPY/BALCONY
- SODDED/GRASS SEEDED AREA
- 3.0m WIDE FRONT YARD PLANTING STRIP (TONED SOLID HATCH) - REFER TO LANDSCAPE DWGS.
- 1.5m WIDE SIDE YARD PLANTING STRIP (TONED SOLID HATCH) - REFER TO LANDSCAPE DWGS.
- 1.5m HIGH SOLID WOOD BOARD FENCE - REFER TO LANDSCAPE DWGS.
- FIRE DEPARTMENT CONNECTION.
- SURPLUS SNOW STORAGE SHALL BE REMOVED OFF SITE AT OWNER'S EXPENSE BY PRIVATE REMOVAL SERVICE.
- ALL LIGHT STANDARDS SHALL BE EQUIPPED WITH FULL CUT OFF SHIELD TO PREVENT LIGHT SPILLAGE TO NEIGHBOURING PROPERTIES.

DEMOLITION SITE PLAN NOTES

- EXISTING STREET LIGHT TO BE RELOCATED (OWNER'S EXPENSE)
- EXISTING BELL PEDESTAL TO BE RELOCATED

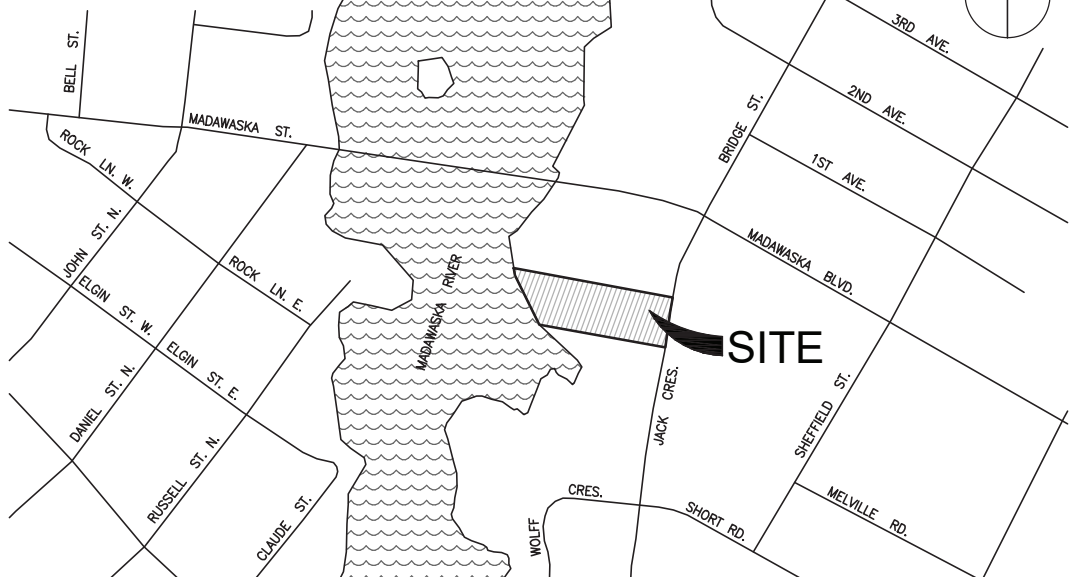
SITE LEGEND:

- PROPERTY LINE  
DENOTES FIRE ROUTE - MIN. 5.0m WIDE w/ 12.0m CENTRELINE RADIUS  
BUILDING EXIT  
BF - DENOTES BARRIER FREE  
FF - DENOTES FIRE FIGHTER PRINCIPAL ENTRANCE  
OVERHEAD DOOR (PARKING GARAGE)  
ACCESSIBLE PARKING  
NEW TRAFFIC SIGNAGE REFER TO SIGNAGE LEGEND  
CB - NEW CATCH BASIN  
MH - NEW MANHOLE  
PROPERTY LINE  
CBMH - NEW CATCH BASIN MANHOLE  
OGS - NEW OIL AND GRIT SEPARATOR  
WV - NEW WATER VALVE  
LS - NEW LIGHT STANDARD  
FDC - FIRE DEPARTMENT CONNECTION  
FH - NEW FIRE HYDRANT  
NEW 1.5m HIGH SOLID WOOD BOARD FENCE  
CONCRETE SIDEWALK  
STANDARD DUTY ASPHALT  
HEAVY DUTY ASPHALT  
EX - EXISTING MANHOLE

SIGNAGE LEGEND:

AP - ACCESSIBLE PARKING  
(VA - VAN ACCESSIBLE)

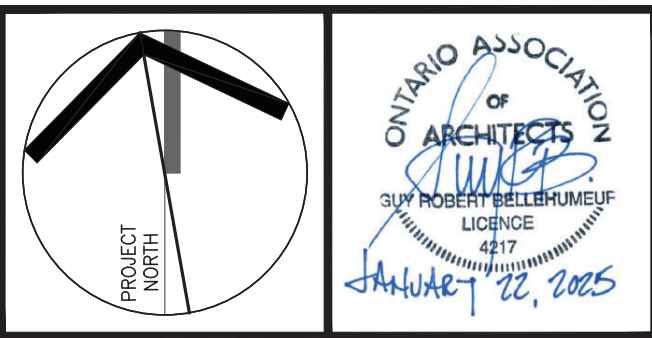
LOCATION MAP:



JACK CRESCENT

EX MH

MH



gb architect inc.  
430 ONTARIO STREET  
STRATFORD, ONTARIO, N5A 3J2  
PHONE (519) 275 1410

"Guy R. Bellemuneur, B. Arch., OAA, MRAIC, Principal Architect of GB ARCHITECT INC. is the designer for this project with respect to all architectural work identified on this drawing sheet. The Ontario Association of Architects has assigned Guy R. Bellemuneur & GB ARCHITECT INC. BCDN 427 as per requirements of the Ministry of Municipal Affairs & Housing Bill 124."

The Architect above has exercised responsible control with respect to design activities. The Architect's seal number is their BCDN number.

No.	DATE	REVISION



APARTMENT PROJECT  
FOR HYOR HOLDINGS INC. - PHASE 3

JACK CRESENT ARNPRIOR, ONTARIO	
PRINT DATE:	January 22, 2025
DATE:	January 22, 2025
DRAWN BY:	KED
CHECKED BY:	G.R.B.
SCALE:	1:200
PROJECT No.:	23-2245

SITE PLAN

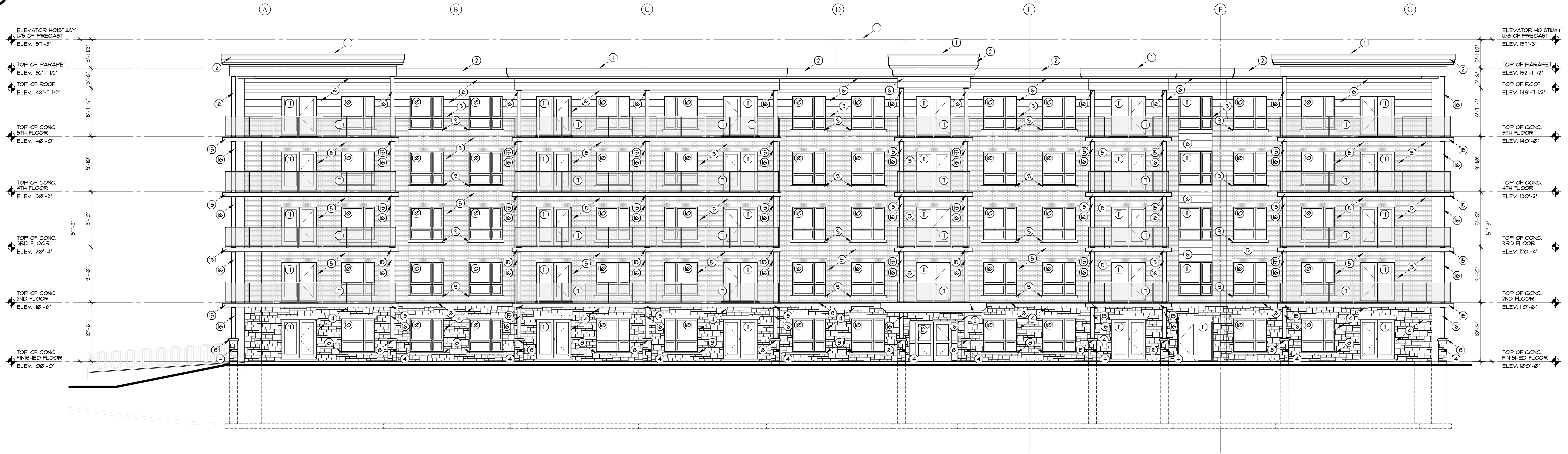
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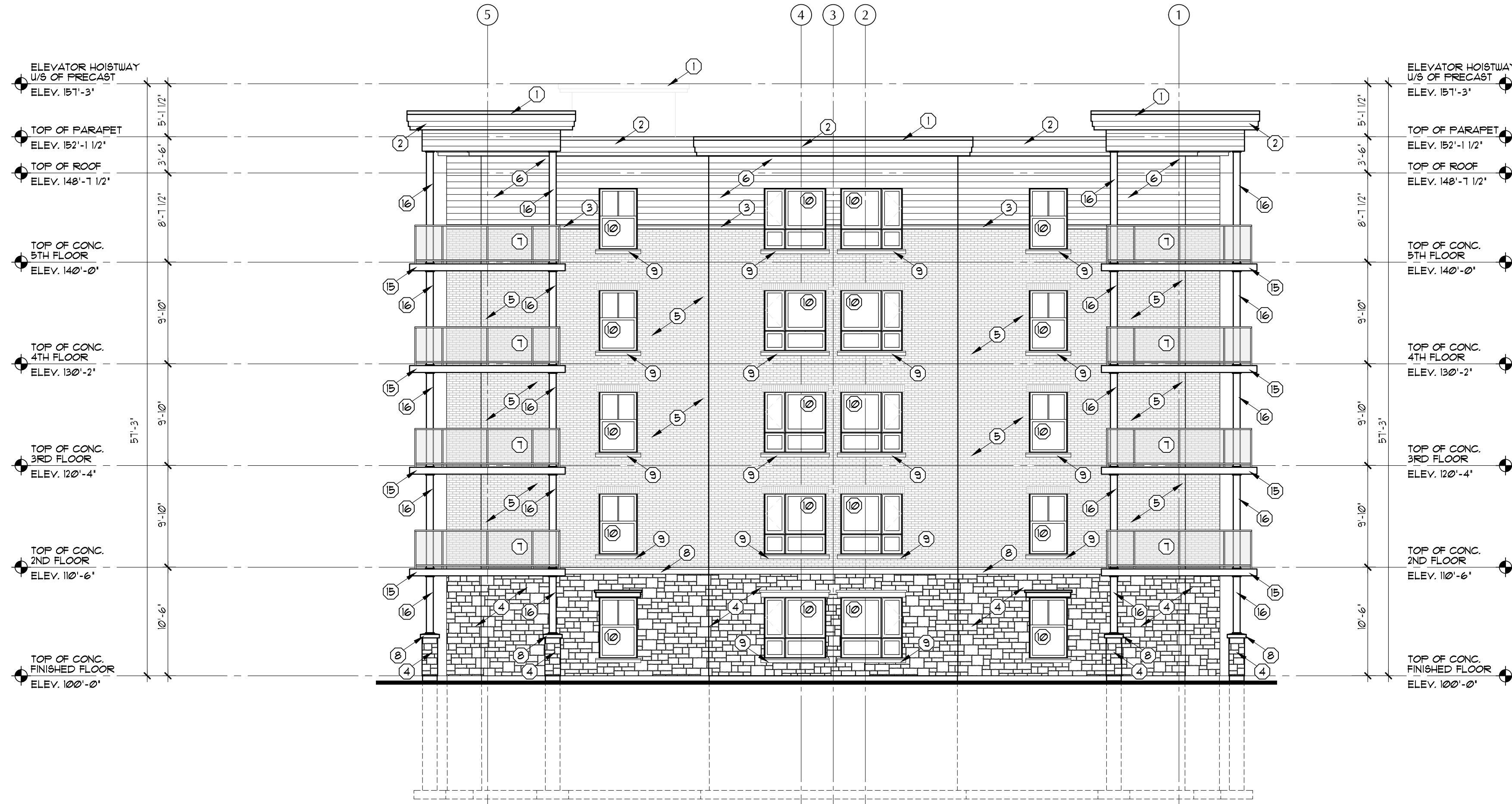


## Document 3 - Elevations

gb



SOUTH ELEVATION



EAST ELEVATION

MATERIALS LEGEND

- 1 PREFINISHED METAL CAP FLASHING  
COLOUR: DARK BROWN (TO MATCH EXISTING)

2 PREFINISHED METAL CLAD FASCIA  
COLOUR: GREY (TO MATCH EXISTING)

3 PRECAST CONCRETE MASONRY BAND  
COLOUR: LIGHT GREY

4 STONE VENEER  
COLOUR: TAN (TO MATCH EXISTING)

5 BRICK VENEER  
COLOUR: RED (TO MATCH EXISTING)

6 HORIZONTAL SIDING  
COLOUR: DARK BROWN (TO MATCH EXISTING)

7 ALUMINUM GLAZED GUARD RAIL SYSTEM  
GUARD TYPE: TOP MOUNT  
COLOUR: DARK BROWN (TO MATCH EXISTING)  
GLASS: TINTED TO MATCH EXISTING
- 8 PRECAST CONCRETE SILL  
COLOUR: GREY (TO MATCH EXISTING)

9 PREFINISHED ALUMINUM CLAD WINDOW SILL  
COLOUR: TAN (TO MATCH EXISTING)

10 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM WINDOW FRAMING.  
COLOUR: TAN (TO MATCH EXISTING)

11 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM PATIO DOOR  
COLOUR: TAN (TO MATCH EXISTING)

12 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN PREFINISHED EXTRUDED ALUMINUM ENTRANCE FRAMING C/W SEALED DOUBLE CLEAR GLAZED TRANSOM/SIDELITE  
COLOUR: CLEAR ANODIZED ALUMINUM

13 INSULATED METAL SECTIONAL DRIVE-IN OVERHEAD DOOR  
COLOUR: TAN (TO MATCH EXISTING)

14 ARCHITECTURAL INTAKE/EXHAUST LOUVER  
COLOUR: TO MATCH ADJACENT FINISH
- 15 PRECAST CONCRETE BALCONY SLAB  
COLOUR: STANDARD GREY

16 PREFINISHED ALUMINUM CLAD COLUMN  
COLOUR: DARK BROWN (TO MATCH EXISTING)

17 PREFINISHED METAL THRU WALL SCUPPER  
COLOUR: TO MATCH ADJACENT WALL PANEL

18 FIRE DEPARTMENT CONNECTION

19 FINISHED GRADE  
(REFER TO CIVIL DUG. GRADING PLAN)

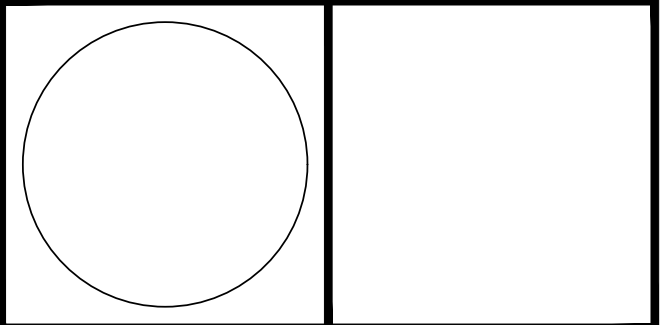
20 ADDRESS SIGNAGE  
COLOUR: TBD

21 WALL MOUNTED LIGHT FIXTURE  
(REFER TO ELECTRICAL DUGS.)

22 CONCRETE FOUNDATION WALL  
SANDBLASTED EXPOSED SURFACES (CLIENT DISCRETION)

23 CONCRETE FOOTING  
(REFER TO STRUCTURAL DUGS.)

ALL WORK SHALL BE CARRIED OUT ACCORDING TO LATEST VERSIONS OF THE ONTARIO BUILDING CODE, OTHER APPLICABLE CODES, AND ALL AUTHORITIES HAVING JURISDICTION. CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL DISCREPANCIES OR AMBIGUITIES TO THE ARCHITECT PRIOR TO ISSUANCE OF CONTRACT. DO NOT SCALE DRAWINGS. DRAWINGS MUST BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATIONS.



**gb architect inc.**  
430 ONTARIO STREET  
STRATFORD, ONTARIO, N5A 3J2  
PHONE (519) 272 0073 FAX (519) 272 1433

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as per requirements of the Ministry of Municipal  
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with respect to design activities. The Architect's seal  
number is their BCDN number.

No.	DATE	REVISION



APARTMENT PROJECT FOR HYOR HOLDINGS INC. - PHASE 3	
JACK CRESSENT ARNPRIOR, ONTARIO	
PRINT DATE:	June 26, 2024
DATE:	June 26, 2024
DRAWN BY:	MHW / ABM
CHECKED BY:	G.R.B.
SCALE:	1/8" = 1'-0"
PROJECT No.:	23-2245

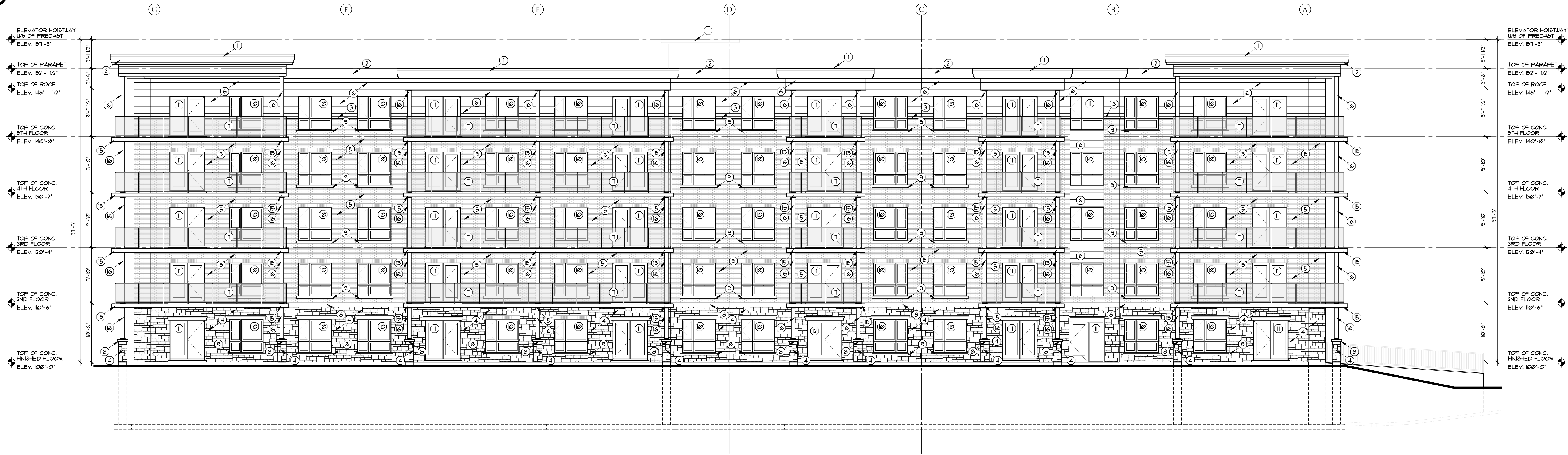
SOUTH AND EAST  
ELEVATIONS

A4.1

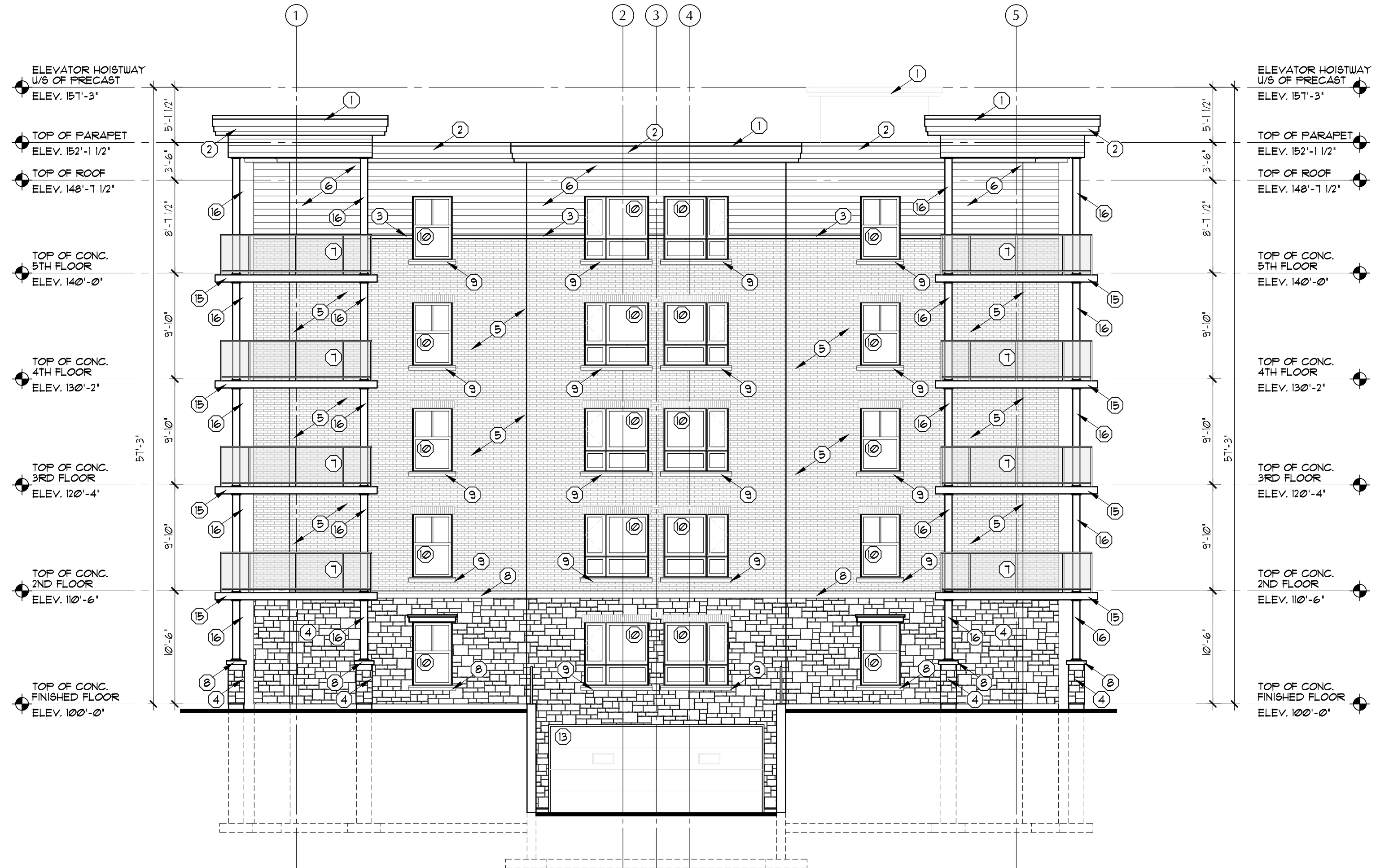
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gb



NORTH ELEVATION

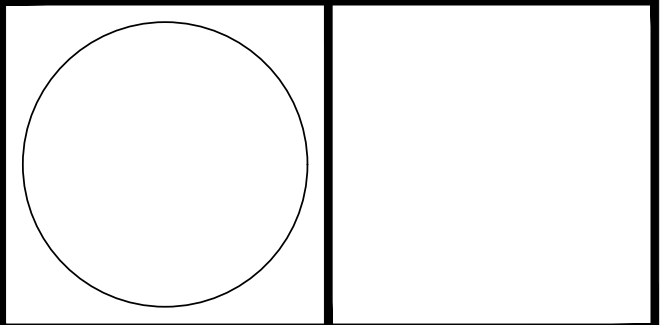


WEST ELEVATION

MATERIALS LEGEND

- |   |  |   |
|---|--|---|
| 1 PREFINISHED METAL CAP FLASHING<br>COLOUR: DARK BROWN (TO MATCH EXISTING)  | 8 PRECAST CONCRETE SILL<br>COLOUR: GREY (TO MATCH EXISTING)  | 15 PRECAST CONCRETE BALCONY SLAB<br>COLOUR: STANDARD GREY                       |
| 2 PREFINISHED METAL CLAD FASCIA<br>COLOUR: GREY (TO MATCH EXISTING)   | 9 PREFINISHED ALUMINUM CLAD WINDOW SILL<br>COLOUR: TAN (TO MATCH EXISTING)   | 16 PREFINISHED ALUMINUM CLAD COLUMN<br>COLOUR: DARK BROWN (TO MATCH EXISTING)   |
| 3 PRECAST CONCRETE MASONRY BAND<br>COLOUR: LIGHT GREY   | 10 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM WINDOW FRAMING.<br>COLOUR: TAN (TO MATCH EXISTING)   | 17 PREFINISHED METAL THRU WALL SCUPPER<br>COLOUR: TO MATCH ADJACENT WALL PANEL  |
| 4 STONE VENEER<br>COLOUR: TAN (TO MATCH EXISTING)   | 11 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN ALUMINUM PATIO DOOR<br>COLOUR: TAN (TO MATCH EXISTING)  | 18 FIRE DEPARTMENT CONNECTION   |
| 5 BRICK VENEER<br>COLOUR: RED (TO MATCH EXISTING)   | 12 SEALED DOUBLE CLEAR GLAZING SET IN THERMALLY BROKEN PREFINISHED EXTRUDED ALUMINUM ENTRANCE FRAMING C/W SEALED DOUBLE CLEAR GLAZED TRANSOM/SIDELITE<br>COLOUR: CLEAR ANODIZED ALUMINUM | 19 FINISHED GRADE<br>(REFER TO CIVIL DUG. GRADING PLAN)                         |
| 6 HORIZONTAL SIDING<br>COLOUR: DARK BROWN (TO MATCH EXISTING)   | 13 INSULATED METAL SECTIONAL DRIVE-IN OVERHEAD DOOR<br>COLOUR: TAN (TO MATCH EXISTING)   | 20 ADDRESS SIGNAGE<br>COLOUR: TBD   |
| 7 ALUMINUM GLAZED GUARD RAIL SYSTEM<br>GUARD TYPE: TOP MOUNT<br>COLOUR: DARK BROWN (TO MATCH EXISTING)<br>GLASS: TINTED TO MATCH EXISTING | 14 ARCHITECTURAL INTAKE/EXHAUST LOUVER<br>COLOUR: TO MATCH ADJACENT FINISH   | 21 WALL MOUNTED LIGHT FIXTURE<br>(REFER TO ELECTRICAL DUGS)                     |
|   |  | 22 CONCRETE FOUNDATION WALL<br>SANDBLASTED EXPOSED SURFACES (CLIENT DISCRETION) |
|   |  | 23 CONCRETE FOOTING<br>(REFER TO STRUCTURAL DUGS)                               |

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No.	DATE	REVISION



APARTMENT PROJECT FOR HYOR HOLDINGS INC. - PHASE 3	
JACK CRESSENT ARNPRIOR, ONTARIO	
PRINT DATE:	June 26, 2024
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SCALE:	1/8" = 1'-0"
PROJECT No.:	23-2245

NORTH AND WEST  
ELEVATIONS

**A4.2**

gb

**Document 4 – Zoning Brief submitted by the applicant**



Jp2g No. 20-7022E

October 17, 2024

Town of Arnprior  
105 Elgin Street West  
Arnprior, ON, K7S 0A8

Attn Alix Jolicoeur, Manager of Community Services/Planner  
ajolicoeur@arnprior.ca

**Re Application for Zoning By-law Amendment  
Part Lot 3, Concession C, PIN 57312-0303  
Part 1, Plan 49R-19701  
Geographic Township of McNab, Now in the Town of Arnprior  
Our File No. 20-7022E**

Dear Ms. Jolicoeur,

Jp2g Consultants Inc. has been retained by the owner of the above-noted property in respect of a Zoning By-law Amendment application to seek a reduction to the water setback and minimum number of required parking spaces to facilitate the construction of a five-storey residential apartment building abutting the Madawaska River in the Town of Arnprior. The application is also seeking relief from the maximum building height stipulated in the Mixed Use-Residential/Commercial Special Exception 26 (MU-RC\*26) zoning applicable to the subject property and an amendment to permit the encroachment of easterly facing balconies into the required front yard setback. The letter includes a description of the subject lands and surrounding area, as well as an assessment of the application in accordance with the applicable provisions of the Provincial Policy Statement, 2020 (PPS), the County of Renfrew Official Plan, the local Official Plan for the Town of Arnprior, and the Town of Arnprior Zoning By-law No. 6875-18.

#### Site and Surrounding Context

The subject property, legally described as Part 1, Plan 49R-19701, is a vacant parcel of land affiliated with the Sawmill Flats apartment development located at the southwest corner of the intersection of Madawaska Boulevard and Jack Crescent in the Town of Arnprior. Map 1 shows the location of the subject site. The property is approximately 0.55 hectares in size with 45 metres of frontage on Jack Crescent and approximately 56 metres of irregular water frontage on the Madawaska River. Phase 1 and 2 of the Sawmill Flats development, which consists of two four-storey apartment buildings, comprising 59 units each, were completed in 2022 and 2023, respectively.

#### The Proposal

The subject zoning by-law amendment application will have the effect of facilitating Phase 3 of the development which envisions a five storey, 57-unit apartment building, with both surface-level and underground parking spaces. The proposed apartment building is to have a total gross floor area of 6,668.50 square metres and a height of 16.8 metres, consistent with the scale and design of the two preceding Sawmill



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**Pembroke**  
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Pembroke, ON, K8A 6W5  
T: 613-735-2507  
Pembroke@jp2g.com

**Arnprior**  
16 Edward St. S., #211  
Arnprior, ON, K7S 3W4  
T: 613-626-0780  
Arnprior@jp2g.com

Flats apartment buildings, save and except for an additional one storey. A total of 68 parking spaces are proposed to support the development, comprising 39 standard surface spaces and 25 standard underground spaces, including 2 barrier free surface spaces and 2 barrier free underground spaces. Moreover, two retaining walls are proposed to be constructed towards the west half of the subject site, the outermost being adjacent to the twelve parking spaces abutting the Madawaska River, and the innermost being adjacent the ramp leading to the proposed underground parking garage (Map 2). The subject lands have direct access to municipal sanitary and water services and are to be developed on full municipal services.

### **Official Plan and Zoning**

The subject site is designated “Mixed Use Residential Commercial Area (MURCA)” in the Town of Arnprior Official Plan. This designation permits the establishment of medium and high-density residential development. The subject lands are zoned Mixed Use Residential/Commercial Special Exception 26 (MU-RC\*26) on Schedule “A” attached to Town of Arnprior Zoning By-law No. 6875-18. The MU-RC\*26 zone is site-specific zoning that applies to the property, which provides one exception to the parent zoning: to permit a maximum building height of 15 metres.

### **Traffic Impact Study**

A Traffic Impact Study (TIS) has been prepared by D.J. Halpenny & Associates Ltd. and is provided as a separate attachment in support of this proposal. The TIS was undertaken to assess the traffic impacts of the proposed Phase 3 development in terms of new proposed access to Jack Crescent, existing access to Madawaska Boulevard associated with Phases 1 and 2 of the development, and the traffic counts associated with the Jack/Madawaska intersection. The findings of the study concluded that:

“...There would be no intersection modifications required for the Jack/Madawaska intersection due to the addition of the Phase 3 site generated trips. The fire route is shown on the Site Plan and can be accommodated within the site. The fire route conforms to the access route requirements as stated in the Ontario Building Code. The layout of the site and aisles within the parking lot would provide an efficient movement of vehicles throughout the site with access to both Jack Crescent and Madawaska Boulevard.”

As submitted, the updated TIS concluded that no negative impacts on traffic or the existing intersection of Madawaska Boulevard/Jack Crescent would occur as a result of the proposed Phase 3 development.

### **Environmental Impact Study**

An updated scoped Environmental Impact Study (EIS) has been prepared by Muncaster Environmental Planning Inc. and Jp2g Consultants Inc. in support of the reduction to the water setback on the subject lands. The EIS updated the original report submitted for Phases 1 and 2 of the lands in September of 2020, to include the findings from a supplemental field review performed in 2023 and to address the Phase 3 development proposal.

### **Amendments Requested**

In order to permit the proposed development, four amendments to the provisions of the Town of Arnprior Zoning By-law are requested:

- a) Section 4.15.3 a) Water Setback (minimum)
  - Request: 4.86 metres to the closest point of a retaining wall, whereas 30 metres is required.
- b) MU-RC\*26 Special Exception Zone Building Height (maximum)



- Request: 16.8 metres whereas 15 metres is required.
- c) Section 5.3 Residential Parking Requirements (minimum)
  - Request: 68 parking spaces whereas 71 are required.
- d) Section 6.4.10 Encroachments into Required Yards
  - Request: 1.25 m front yard setback encroachment for balconies facing east in a mixed-use zone, whereas balcony encroachment is only permitted in a residential zone.

#### **Provincial Policy Statement, 2020 (PPS)**

The PPS provides policy direction on matters of provincial interest related to land use planning and development. As a key part of Ontario's policy-led planning system, the PPS sets the policy foundation for regulating the development and use of land.

#### **4.1 Healthy, Liveable and Safe Communities (Section 1.1.1)**

Section 1.1.1 of the PPS states that healthy, liveable, and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- b) promoting the integration of land use planning, growth management, transit-supportive development, intensification, and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs.

The proposed development represents an underutilized, former brownfield site that is fully serviced by municipal infrastructure including water, sewers, and roads, and is in close proximity to the existing commercial core of downtown Arnprior. The development would represent an efficient redevelopment of a vacant site.

#### **4.2 Settlement Areas (Section 1.1.3)**

The subject lands are within a "Settlement Area," which is defined by the PPS as: "urban areas and rural Settlement Areas, and include cities, towns, villages and hamlets". The PPS further explains that Settlement Areas vary significantly in terms of size, density, population, economic activity, diversity and intensity of land uses, service levels, and types of infrastructure available. PPS policy 1.1.3.1 states that Settlement Areas shall be the focus of growth and development. Policy 1.1.3.2 provides the criteria for land use patterns within Settlement Areas. The proposed development is designed in accordance with the applicable policies in Section 1.1.3.2 as follows:

- a) The development represents an efficient use of land and resources.
- b) The development will efficiently use existing municipal infrastructure and will not require any expansion to the municipal infrastructure. The development can be adequately serviced with domestic water supply and sewage collection services.

Lastly, Policy 1.1.3.3 states that Planning authorities shall identify appropriate locations and promote opportunities for transit-supportive development, accommodating a significant supply and range of housing options through intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs. The proposal represents the third and final phase of the intensification and redevelopment of this former brownfield site, with available municipal infrastructure.

### **Town of Arnprior Official Plan**

The Mixed Use Residential Commercial Area (MURCA) designation encourages the development of new medium and higher density residential apartment uses and permits a height of up to 6 storeys (C4.2, C4.3). The new proposed apartment building will be in keeping with the landscaping features and design of the existing two apartment buildings (Phase 1 & 2) associated with the Sawmill Flats development and will be five storeys in height, which is in keeping with the above policies of the Official Plan and is likewise not anticipated to have any shadowing or visual impact on the adjacent apartments and public areas. It is also worth noting that the proposed 5-storey residential apartment building is entirely in keeping with the immediate surrounding area, particularly the lands directly southwest of the lot which is occupied by two 5-storey residential apartment buildings.

Section D1.13 of the Official Plan provides the water setback policies that are applicable within the Town of Arnprior. Section D1.13 c) states that “for new lot creation, development, including the septic system tile bed, must be set back a minimum of 30 metres from the high-water mark of a watercourse with non-disturbance of the native soils and very limited removal of shoreline vegetation.”

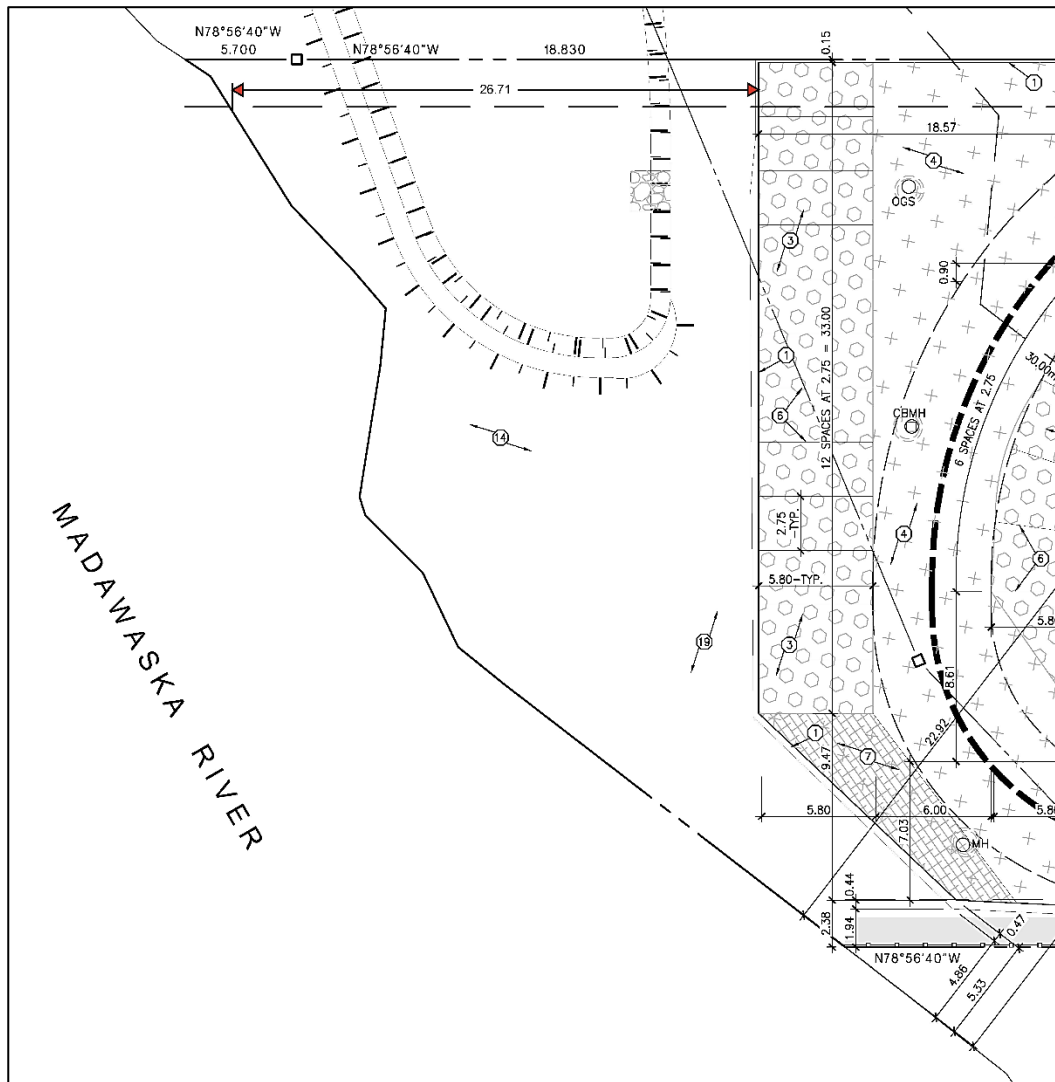
It is recognized that the proposed two retaining walls will be located within the 30-metre water setback from the Madawaska River. However, the proposed location of the new apartment building itself will be set back 33.7 metres from the Madawaska River, demonstrating compliance with the intent of the above policy. Moreover, due to the existing constraints of the lot size, and orientation of the river it is not possible for the two retaining walls to be located outside of the 30-metre setback in its entirety, though the vast majority of each respective retaining wall will be located well beyond the minimum 4.86 metre setback as requested. Site plan controls are to be implemented as part of Phase 3 of the development plan to ensure that surface drainage on the site will be directed and treated to mitigate any potential adverse impact on the Madawaska River.

Moreover, the proposed development will contribute to positive future growth of the community and help the Town meet its intensification targets set out in the Official Plan. It is widely known that Ontario continues to experience strong population growth, which has increased the demand and pressure to build more housing, and in particular, affordable housing and rental units. The proposed apartment building will serve to increase housing supply, particularly with respect to rental housing, in the Town of Arnprior.

For these reasons, it is in our professional opinion that the proposed zoning by-law amendment complies with the relevant policies of the Official Plan for the Town of Arnprior.

### **Town of Arnprior Zoning By-law**

The Mixed Use Residential/Commercial (MU-CE) Zone implements the policies of the MURCA designation in the Town’s Official Plan and similarly permits higher density residential development. In terms of the request to reduce the 30-metre water setback, it is recognized that the proposed Phase 3 apartment building will be located entirely outside of the required 30-metre setback and that the retaining walls will be the only structures located within the water yard. Further, the requested setback of 4.86 metres will only be required for a small portion of the outermost retaining wall, while the remainder of the wall will increase to a setback of approximately 26.7 metres from the Madawaska River as it continues north on the property (Figure 1).



*Figure 1 – The outermost retaining wall will continue to increase setbacks from 4.86 metres to approximately 26.7 metres from the Madawaska River as it moves north on the property.*

An EIS was completed to consider the potential impacts of the proposed retaining wall within the 30-metre water setback. The EIS drew the following conclusion:

...“This Environmental Impact Study concludes that the proposed Phase 3 apartment development will avoid negative impacts, as defined in the Provincial Policy Statement, on significant natural heritage features and functions, including the Madawaska River and the environment in general provided the important mitigation and avoidance measures identified in this EIS are properly implemented.”

As noted above, the EIS recommends a number of mitigation measures and best practices that will alleviate the potential impacts of the proposed retaining wall. A site plan agreement will ensure appropriate implementation of the listed mitigation measures.

In regard to the request to reduce the applicable residential parking provision, it is demonstrated on the site plan that the property will establish as much parking as feasible on the lot, inclusive of an underground parking

garage, to support the new development, while balancing the required water setbacks. It has been demonstrated in Phases 1 and 2 that the provision of parking at the standard Zoning By-law rate has resulted in an over-provision in parking and the shortfall of three spaces will not have any impact on the ability of the third building to provide ample parking for all future residents. Should the need arise, there is the option for shared parking resources between Phases 1, 2 and 3.

With respect to the increased building height, the Phase 3 development will maintain the size, scale, and characteristics of the preceding two buildings from Phases 1 and 2, save and except for one additional floor that represents the highest and best use of the property without exceeding maximum density permissions and height limitations of the Official Plan. Furthermore, given the surrounding high density residential development associated with the already-constructed apartment buildings as part of Phases 1 and 2, in addition to the five-storey retirement residence that exists immediately south of the property, it is our professional opinion that the increased height of 1.8 metres represents a modest increase and will be imperceptible from the public realm. The proposed Phase 3 apartment building will otherwise achieve all other side, rear, and front yard setbacks as required in the Zoning By-law.

### **Conclusions and Recommendations**

The proposed application for Zoning By-law Amendment has been reviewed against the policies contained in the PPS, the Town of Arnprior Official Plan and the standards in the Town of Arnprior Comprehensive Zoning Bylaw. Based on the analysis contained in this letter, it is our opinion that the subject application constitutes good planning and should be approved.

Yours truly,

**Jp2g Consultants Inc.**



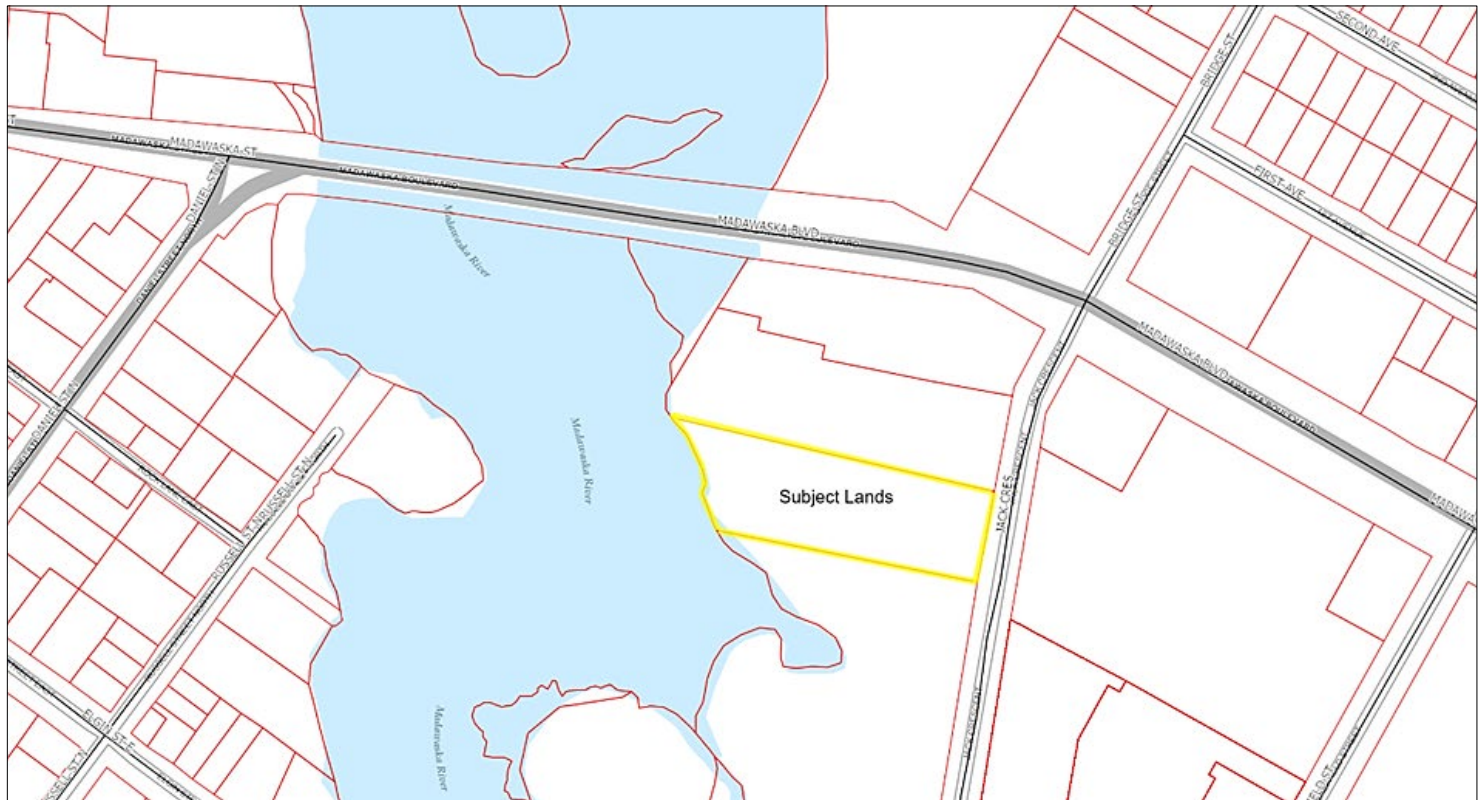
Janine Cik, B.A. (Hons)  
Junior Planner



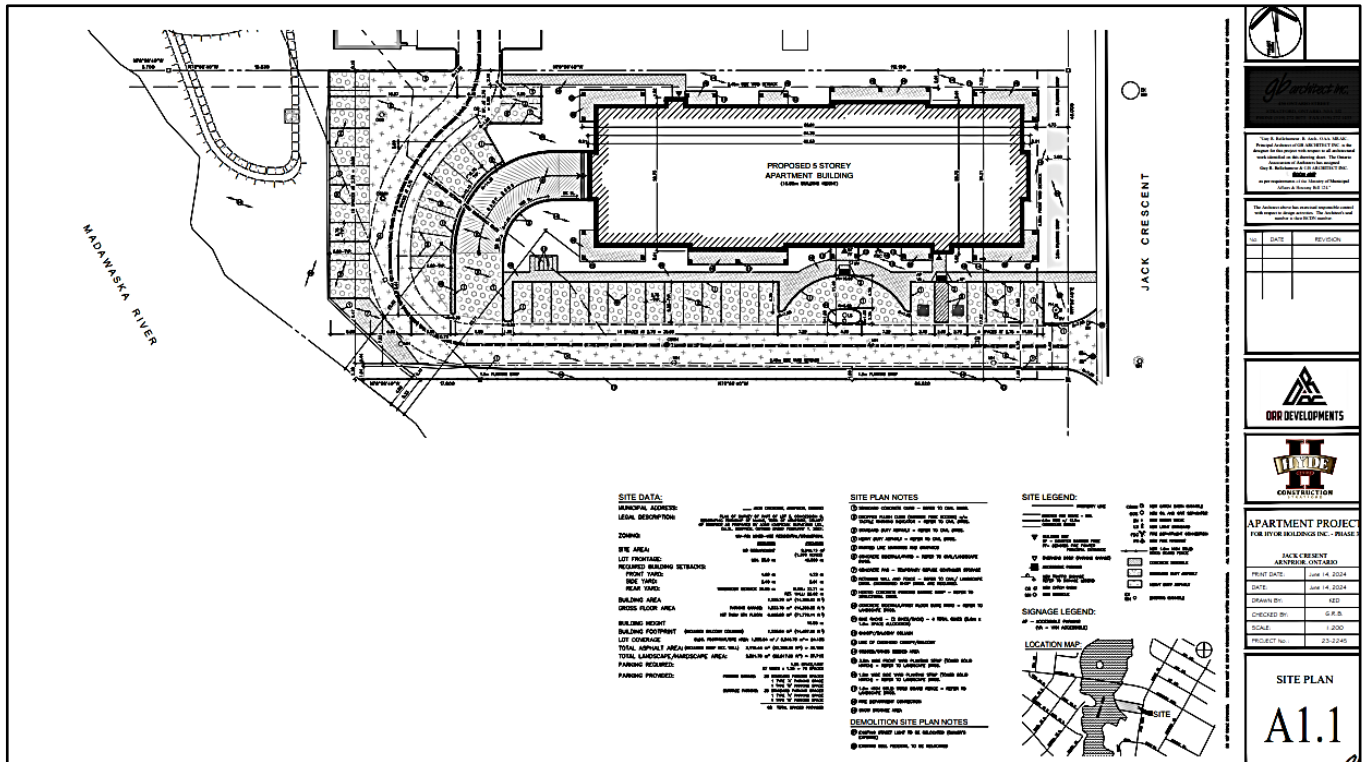
Forbes Symon, MCIP, RPP  
Senior Planner

cc Hyor Holdings, Client

Map 1: Key Map

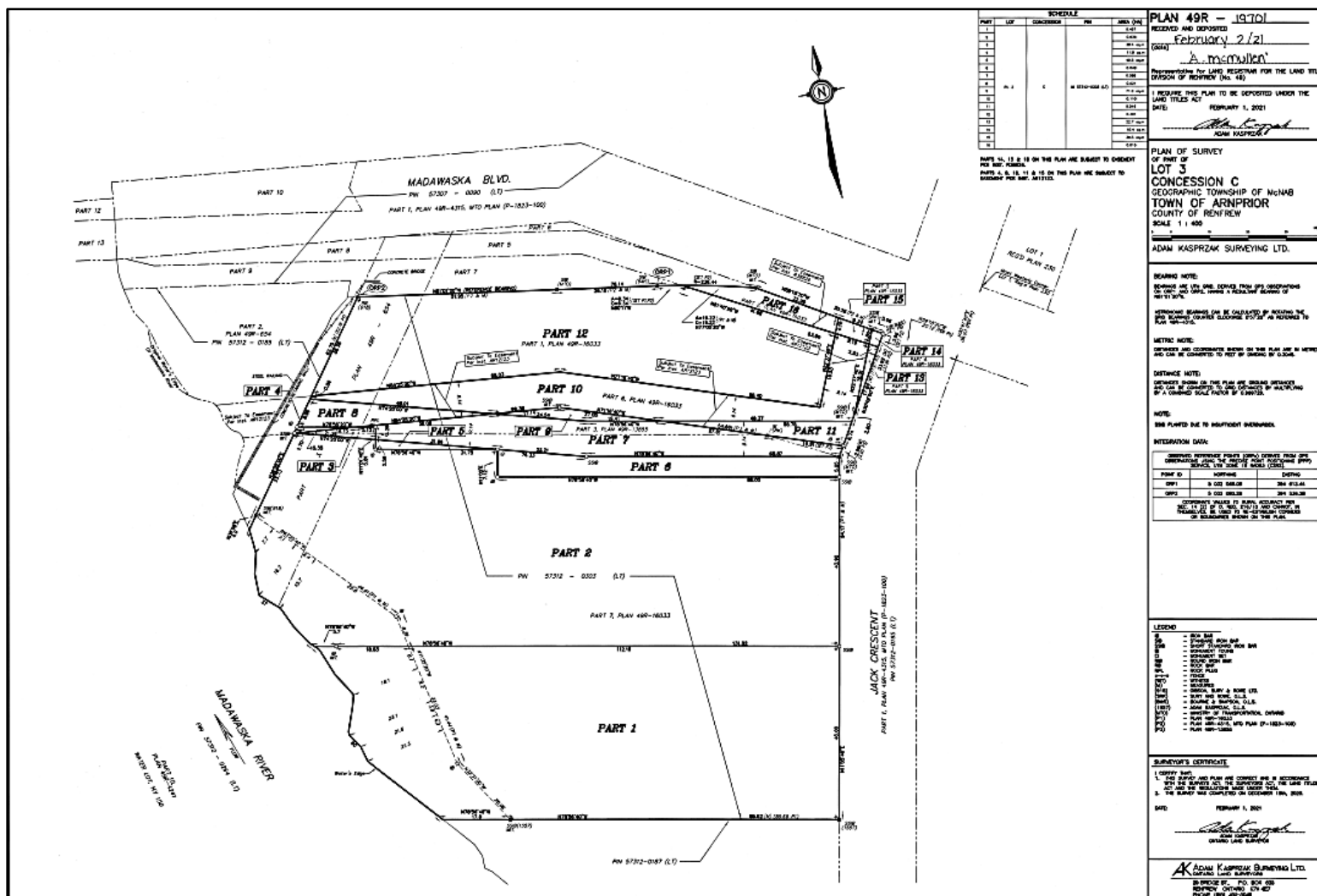


Map 2: Site Plan





# Map 3: Property Survey



**Document 5 – Environmental Impact Study submitted by the applicant**





Muncaster  
Environmental  
Planning Inc.

September 21, 2020  
Updated March 7, 2025

6772447 Can Inc.  
c/o Mr. Tom Orr  
92 Bingham Road  
Haleys Station, Ontario  
K0J 1Y0

Dear Mr. Orr:

**RE:   Apartment Project, Madawaska Boulevard and Jack Crescent, Arnprior, Ontario  
      Scoped Environmental Impact Study**

This scoped Environmental Impact Study (EIS) assesses a proposed apartment project adjacent to the Madawaska River, south of Madawaska Boulevard, between the river and Jack Crescent in the Town of Arnprior. The original EIS, dated September 21, 2020, was prepared in support of the Phase 1 & 2 lands and the original report is now being updated to include the findings from a supplemental field review in 2023 to address the Phase 3 lands.

The Phase 1 & 2 lands are situated on a 1.4 hectare site and has approximately 83 metres of frontage along Jack Crescent. The Phase 3 lands are situated on a 0.5 hectare site and has 45 metres of frontage along Jack Crescent. For the purposes of this report Jack Crescent is considered to be in a north-south alignment.

***Background and Proposed Development***

The site is in a developed portion of Arnprior, include a retirement residence to the south, and a gas station, strip mall and hotel and restaurant occupying the other adjacent quadrants of the Madawaska Boulevard and Jack Crescent intersection. Construction of watermain crossing of the Madawaska River south of Madawaska Boulevard was underway in 2020, with the northwest portion of the Phase 1 & 2 site being used as a staging area at that time. The site is zoned MU-RC\*26 (Mixed Use-Residential/Commercial Exception 26) which stipulates a maximum building height of 15 metres and is identified on the Land Use Schedule (Schedule 'A') of the Arnprior Official Plan as Mixed Use Residential/Commercial Area. The site is identified on Schedule C of the Arnprior Official Plan as Natural Heritage Area #3 –Madawaska River Shoreline and Natural Corridor, but the site is not identified as a wooded area on Schedule C. Spawning areas in the Madawaska River are downstream of the site, between the Arnprior Weir on the opposite (north) side of Madawaska Boulevard and the Ottawa River approximately one kilometre to the east. No environmental protection areas are shown in the vicinity of the site on Schedule A – Map 1 of the County of Renfrew Official Plan and no natural heritage features outside of the Madawaska River (valleyland and fish habitat) are on or adjacent to the site, as shown on Schedule B – Map 4 of the County Official Plan.

Phase 1 & 2 of the development consists of two fifty-nine unit four story apartment buildings which have been constructed on the site since the 2020 field review, and are separated by an access lane, drop-off area and surface parking (see the Site Plan, reproduced as Figure 2 below). Additional surface parking and a 370 m<sup>2</sup> amenity building are also located between the building and the Madawaska River. The total number of surface parking spaces is 148. The development is serviced with municipal water, stormwater and sanitary services.

Phase 3 of the proposed development consists of one 57 unit five story apartment building at the rear of the property along Jack Crescent (see the Site Plan, reproduced as Figure 3 below). A parking area is proposed to the south of the building along the southern property line and between the building and the Madawaska River, which will connect to the parking area on the Phase 1 & 2 lands to the north. The total number of surface parking spaces proposed is 39, and the total number of parking garage spaces is 25. Similar to the Phase 1 & 2 development, the Phase 3 development will be serviced with municipal water, stormwater and sanitary services.

### ***Methodology***

This EIS was prepared in accordance with Section D1.10.2.1 of the Arnprior Official Plan and Section 2.2 (23) of the County Official Plan, with guidance from the Natural Heritage Reference Manual (OMNR, 2010).

The focus of this EIS is the water setback area of the property, with other features also described below. This report will assess the potential for negative impacts on the water quality and aquatic habitat of the Madawaska River and recommend associated mitigation measures. As part of the Madawaska River watermain crossing project, a Species at Risk Assessment was completed for the Town of Arnprior by Stantec (2020), with the applicable findings and recommendations summarized in this EIS.

Colour aerial photography (2002 - 2020) was used to assess the natural environment features in the general vicinity of the site. The natural environment features of the Phase 1 & 2 site and adjacent lands were reviewed mid-day on September 15<sup>th</sup>, 2020 and the Phase 3 site and adjacent lands were reviewed mid-day on April 12, 2023. Weather conditions during the 2020 survey included partly sunny skies, a light breeze, and a temperature of 20° C and weather conditions during the 2023 survey included sunny skies, a light to moderate breeze, and a temperature of 15° C.

The 2020 field survey and the September 2020 report were completed by Bernie Muncaster, who has a Master's of Science in Biology and over thirty-five years of experience in completing natural environment assessments. The 2023 field survey was completed by Bryana Kenny, who has a Bachelor of Science in Biology and over 10 years of experience in completing natural environment assessments. Bryana also assisted Bernie with the June 2024 and March 2025 updates to this report.

During the field surveys, random meander methodology was used to delineate the vegetation communities on site based on the dominant vegetation species present. Other vegetation was also noted and documented on site during the field surveys as well. This entailed walking throughout

the subject lands to capture all the ELC communities on site. ELC terminology was used to describe the vegetation communities based on the dominant vegetation species present, however no soil testing was completed.

### ***Existing Conditions***

In 2020, the Phase 1 & 2 site was highly disturbed (Photos 1, 2, and 3) with most of the trees removed by 2005 and the topsoil appearing to be stripped. Further tree removal was noted by 2011 and a sales trailer is present in 2014 photography (and was present in 2020). Areas of fill were noted during the 2020 field survey.

During the 2023 site visit, the Phase 1 & 2 site was developed and the Phase 3 site was highly disturbed (Photos 4, 5 & 6). Some of the topsoil was stripped on site and exposed bedrock was visible. A pile of soil from some excavation work onsite was also noted along the northern property line next to an excavator and some exposed bedrock. Test wells were also noted throughout the site.

The Madawaska River is of course the dominant environmental feature associated with the site. As the reach of the river adjacent to the site is located between Ontario Power Generation's Arnprior Generating Station (approximately two kilometres upstream) and the Arnprior Weir (approximately 50 metres downstream, just north of Madawaska Boulevard), the water levels in this reach of the Madawaska River are managed by Ontario Power Generation (Stantec, 2020). Stantec (2020) note that these dams provide potential obstruction to fish movement, including to and from the downstream Ottawa River. As described by Stantec (2020), the Madawaska River in the vicinity of the site is approximately 150 metres wide and characterized by deep water in the eight metre range and strong currents. Given the rocky nature of the shoreline and significant flows from the river, a limited littoral zone is present with limited aquatic vegetation. Where visible, substrates varied but were dominated by bedrock with some boulders and shallow gravel present towards the shorelines. The rock protection along the shoreline adjacent to the south portion of the site (Photos 8, 9, 11 & 12) provides a variety of available substrate sizes, adding to the available aquatic habitat. Stantec (2020) noted this reach of the Madawaska River provides refuge fish habitat, especially during the winter months.

### **Phase 1 & 2 Lands – 2020 Site Observations**

An approximately 65 metre long concrete retaining wall is along the shoreline south of Madawaska Boulevard (Photo 9). South of this, rock protection is present, but the shoreline is much less disturbed (Photos 8 and 9). Extensive shrub cover is along the shoreline in this area and in combination with the rock protection likely adds to the stability of the shoreline as well as the effectiveness of the shoreline setback. Staghorn sumac is the dominant shrub species in most locations, with glossy buckthorn, high-bush cranberry, red-osier dogwood, common buckthorn, and tartarian honeysuckle also present. Regenerating white elm and Manitoba maple stems are also present. Small pockets of wetland vegetation along the shoreline include joe-pye-weed, soft-stem bulrush, wild mint, purple loosestrife, beggar-ticks, and purple-stemmed aster.

Two trees of size remain on the site, in the north portion south of Madawaska Boulevard. The west one, on the west side of the access to the abandoned sales trailer is a twin-stem sugar maple, with individual stems up to 60cm diameter at breast height (dbh) (Photo 3). A three stem white

elm, with individual stems up to 45cm dbh, is in the northeast corner of the site (Photo 2). Leaf-out appeared to be generally good on both trees, with trunk damage noted on the white elm.

Other woody vegetation on the development portion of the site included a dominance of staghorn sumac in many areas, along with red raspberry, glossy buckthorn, common barberry, common buckthorn, and common lilac shrubs and regenerating white elm and Manitoba maple stems up to 10cm dbh (Photo 7). A dying white ash is adjacent to the trailer (Photo 3) along with smaller regenerating ash and trembling aspen and Manitoba maple stems. Grape vine cover was common on the shrubs and regenerating tree stems.

The ground flora on the site is, as expected, generally reflective of disturbed conditions (Photo 1) and includes June meadow grass, reed canary grass, orchard grass, timothy, blueweed, St. John's wort, bladder campion, common mullein, common milkweed, Canada goldenrod, rough-stemmed goldenrod, narrow-leaved goldenrod, butter-and-eggs, thicket creeper, bladder campion, motherwort, poison ivy, field sow-thistle, black swallowwort, wild carrot, yellow goat's-beard, brown knapweed, curled dock, field horsetail, New England aster, heart-leaved aster, wild grape, Canada thistle, white-sweet clover, common burdock, common yarrow, cow vetch, and common strawberry.

Wildlife observed during the mid-September field survey included double-crested cormorant, ring-billed gull, American crow, black-capped chickadee, American robin, song sparrow, American goldfinch, and rock pigeon.

#### Phase 3 Lands – 2023 Site Observations

The lands on the northern portion of the site gradually slopes down to the shoreline of the river. The lands within the water setback on the northern portion of the site are heavily disturbed, likely from construction activities on the Phase 1 & 2 lands and preparation of the site for the Phase 3 works. Some of the woody vegetation near the shore has also been cut in this area (Photo 13). The shoreline on the southern portion of the site contains a bedrock outcrop which steeply slopes down to the river and is covered in woody vegetation (Photos 12 & 14).

Limited vegetation remains on site other than near the shoreline, which is rocky. The rocky shoreline together with the woody vegetation along the shoreline, adds to the stability of the shoreline as well as the effectiveness of the shoreline setback. The woody vegetation noted along the shoreline includes a few smaller trees, tree saplings and shrub species such as eastern white cedar (5 cm dbh), staghorn sumac, wild red raspberry, and buckthorn species. Other woody vegetation similar to that found in the riparian area pre-development on the Phase 1 & 2 lands is also likely present on the Phase 3 lands. Grape vine was also noted on the vegetation along the shoreline.

Limited other vegetation remains on site other than grass species and a few regenerating shrubs and tree saplings in scattered pockets between the disturbed areas in the eastern portion of the site. The vegetation noted in the mixed meadow (MEM) on site is expected to be similar to that found in the cultural meadow portion of the Phase 1 & 2 lands pre-development.



*Photo 1 – Development portion of the site, with view looking northwest from southeast corner. September 2020.*



*Photo 2 – East edge of the site, west of Jack Crescent.  
View looking north to mature white elm in the northeast corner. September 2020.*





*Photo 3 – North portion of the site, with view looking east from the northeast corner to mature maple and dead ash to the right. September 2020.*



*Photo 4 – East portion of the Phase 3 site, with view looking west from Jack Crescent towards the shoreline. Apartment building constructed on Phase 1 & 2 lands is visible on the right. April 2023.*





*Photo 5 – Northwest portion of the Phase 3 site, with view looking west from northern property line towards the shoreline. April 2023.*



*Photo 6 – Site conditions of Phase 3 site, with view looking east from top of bedrock outcrop towards Jack Crescent. April 2023.*



*Photo 7 – Existing shrubs in the riparian corridor in the southwest portion of the site.  
View looking west to the Madawaska River. September 2020.*



*Photo 8 – River shoreline in the southwest corner of the site.  
View looking north to Madawaska Boulevard bridge. September 2020.*





*Photo 9 – Another view of the shoreline. This one is further to the north from Photo 5, with the south end of the concrete retaining wall in the background. September 2020.*



*Photo 10 – Riparian corridor further east of shoreline has less woody vegetation and appears to be a good place for planting native trees and shrubs. View looking north. September 2020.*





*Photo 11 – River shoreline in the northern portion of the Phase 3 site. View looking south along shoreline of Phase 3 lands. April 2023.*



*Photo 12 – River shoreline in mid-portion of the Phase 3 site along bedrock outcrop. View looking south along shoreline of Phase 3 lands. April 2023.*





*Photo 13 – Cut woody vegetation and disturbed area in riparian corridor in northern portion of the Phase 3 site. View looking west towards the river. April 2023.*



*Photo 14 – Existing woody vegetation in the riparian corridor in the southern portion of the site. View looking northwest to the Madawaska River. April 2023.*

### Species at Risk

No Species at Risk were observed on or adjacent to the site during the mid-September 2020 or the mid-April 2023 field reviews. Current potential Species at Risk identified by Stantec (2020) included butternut, Blanding's turtle, several bat species, American eel, lake sturgeon, and hickorynut (a mollusc).

The Ministry of Natural Resources and Forestry (MNRF) "Make a Map: Natural Heritage Areas" website (Ministry of Natural Resources and Forestry, 2022) was also reviewed for species at risk occurrences on/adjacent to the subject lands. Data available for the 1 km x 1 km grid cells (UTM Grid: 18UR9431 & 18UR9432) containing the subject lands, included an occurrence of eastern meadowlark (threatened), bobolink (threatened), butternut (endangered), lake sturgeon (endangered), American eel (endangered), chimney swift (threatened), northern map turtle (special concern), eastern wood-pewee (special concern), as well as a restricted species. Midland painted turtle, peregrine falcon, eastern milksnake, elusive clubtail and western chorus frog, were also reported, which are not species at risk and are therefore not discussed further in this report, however general mitigation measures for wildlife are provided in the mitigation measures section of this report.

DFO's Aquatic Species at Risk Mapping Tool (DFO, 2024) was also reviewed for aquatic species at risk for the Madawaska River. Hickorynut (endangered) and river redhorse (special concern) are reported in the river in the vicinity of the subject lands.

Other species at risk which have the potential to occur on/adjacent to the subject lands are also discussed below.

Stantec (2020) note that lake sturgeon and American eel, have been extirpated from the Madawaska River, and as lake sturgeon is hickorynut's host fish, hickorynut is not expected in the Madawaska as well. The Madawaska River contains suitable habitat for river redhorse, however provided the mitigation measures in this report are properly implemented, no adverse impacts on this species is anticipated to occur as a result of the proposed development. No suitable potential cavity trees to be used for summer maternal bat colonies or other wildlife use were observed on or adjacent to the site. One snag/cavity tree approximately 4 metres high was located in the deciduous thicket along the southern property line of the Phase 3 lands, however given that the cavities in this snag tree were located at a relatively low height and as the snag density for the area is <10 snags/hectare, the single snag/cavity tree alone is not enough for the thicket habitat to be considered to contain potential maternal roost habitat. No suitable meadow habitat >5 hectares in area is present on or adjacent to the subject lands for bobolink or eastern meadowlark. Barn swallow is no longer listed as a Species at Risk. Regardless, no evidence of nesting by barn swallow or bat usage was observed in association with the abandoned sales trailer in 2020. Any swallow activity along the Madawaska Boulevard bridge will not be impacted by the proposed site development. Chimney swift could potentially be utilizing the chimneys in buildings on adjacent properties as habitat, however no suitable nesting habitat is present on the subject lands. If chimney swifts are utilizing the subject lands as foraging habitat or as a travel corridor, no adverse impacts on this species are anticipated to occur if present, as the subject lands will still provide suitable foraging habitat/travel corridor habitat post

development. No suitable forest habitat for eastern wood-pewee is present on or adjacent to the subject lands. Butternut is observed in a variety of habitats in eastern Ontario, but none were seen on or adjacent to the site. Blanding's turtle is not anticipated to be in the reach of the Madawaska River adjacent to the site, as these turtles prefer shallow, slow moving, eutrophic systems (Stantec, 2020). There is however the potential for northern map turtle to occur in the River adjacent to the site. Provided the mitigation measures in this report are properly implemented, no adverse impacts on this species are anticipated to occur as a result of the proposed development. There is no aquatic or wetland habitat on or adjacent to the site outside of the Madawaska River proper, except for a small wetland area on an adjacent property on the opposite side of Jack Crescent. This wetland area contained a bit of standing water at the time of the April 2023 field review, but it is expected that this water is seasonal and dries up by the summer. Suitable wetland habitat for turtles is not present in this adjacent wetland and there is no direct hydrological connection to the Madawaska River. Black ash are typically observed in wet areas, but none were seen on or adjacent to the site. If any black ash trees are located in the small wetland area on the opposite side of Jack Crescent, no impacts are anticipated to occur on these trees as the proposed development will be located on the opposite side of the road from the wetland habitat.

We contacted the NHIC regarding the restricted species occurrence and they provided us with the species information. Due to the sensitive nature of this species, it has not been identified in this report, however given the disturbed/developed nature of the subject lands and adjacent lands, suitable habitat for this species is not present on/adjacent to the subject lands and therefore this species is not discussed further in this report.

### ***Significant Woodlands and Wildlife Habitat***

There are no forests on or adjacent to the site and thus there is no potential for significant woodlands. The potential for significant wildlife habitat was assessed using the guidance in OMNR (2010) and MNRF (2015). No criteria for a significant wildlife habitat designation were observed on the site itself, with potential of course present in the adjacent Madawaska River. No forests, or wetland habitat was observed on the site itself. The bedrock outcrops along the shoreline of the Phase 3 lands contained a few crevices which may be utilized by snakes, however, the majority of this area is not proposed to be developed and provided the mitigation measures in this report are properly implemented, no adverse impacts on snake species are anticipated to occur as a result of the proposed development. No rare vegetation communities as noted in MNRF (2015) or rare or specialized habitat including seeps or springs were noted on the site.

### ***Significant Valleylands***

The Madawaska River is identified as a significant valleyland on Schedule B – Map 4 to the County of Renfrew Official Plan. The Madawaska River is a well defined watercourse that contains flowing water, fish habitat and provides a linkage function to other natural areas. As this valleyland meets at least one of the significant valleyland criteria outlined in the Natural Heritage Reference Manual (Ministry of Natural Resources, 2010) the valleylands on the subject lands would be considered significant. In order to maintain the features and functions of this

valleyland, and ensure that no adverse impacts occur as a result of the proposed development, the mitigation measures in this report should be properly implemented.

### ***Impact Analysis and Recommendations***

#### **Phase 1 & 2 - 2020**

The development portion of the site is highly disturbed with minimal woody vegetation. Unfortunately, the locations of the sugar maple and white elm in the north portion of the site in association with the proposed footprints, required grading and servicing infrastructure will prevent retention of these trees. Planting of native tree species, as described below, is recommended to assist over time in replacing the local wildlife habitat and climate and aesthetic benefits of the existing few trees.

Other than the aquatic habitat of the Madawaska River, no significant natural heritage features, as identified in the Provincial Policy Statement, were observed on or adjacent to the site. The shoreline corridor is highly disturbed in the north half of the site with a concrete retaining wall. In this area, the setback from the retaining wall to an armour stone retaining wall and surface parking will be between ten and fifteen metres. The project planner reports that a minor variance has been received for this reduced setback distance. This setback area generally has been highly disturbed with a watermain crossing staging area and historical woody vegetation removal. The setback is to be planted with a variety of native trees and shrubs, as described below.

The south portion of the shoreline is much less disturbed and a traditional 30 metre setback will be applied in this area between the shoreline and the armour stone retaining wall associated with the proposed amenity building. In this portion of the shoreline, there is approximately eight to twelve metres of well established thicket habitat (Photos 7, 8, and 9). Although some of these shrub species are non-native, it is recommended that the shrubs be retained in their current condition as they provide shoreline features and assist in bank stability. To the east of the band of thicket shrubs, there is much less woody vegetation (Photo 10) and it is recommended that this portion of the setback be planted with a variety of native trees and shrubs.

A few wetland plants, such as joe-pye-weed and soft-stem bulrush, were observed along the shoreline in the southeast corner of the site. It is recommended that additional plantings of native wetland plants, such as boneset, purple-stemmed aster, nodding beggarticks, beggarticks, swamp milkweed, and joe-pye-weed be undertaken to provide additional habitat for this area and to increase the features and functions of the setback. Suitable small plantings areas can be created among the rock protection and other shoreline areas.

#### **Phase 3 - 2023**

The development portion of the site is highly disturbed with minimal woody vegetation remaining on the site. Planting of native tree species, as described below, are recommended to assist over time in replacing the local wildlife habitat and climate and aesthetic benefits that the site would have once provided.

Other than the aquatic habitat of the Madawaska River and associated valleyland and fish habitat, no significant natural heritage features, as identified in the Provincial Policy Statement, were observed on or adjacent to the site. A small wetland area was noted on adjacent lands on

the opposite side of Jack Crescent, however, as the proposed development is located on the opposite side of the road, no adverse impacts are anticipated to occur on this feature as a result of the proposed development.

Much of the shoreline corridor is disturbed, especially in the northern portion of the site. The southern portion of the shoreline corridor is much less disturbed and there is approximately eight metres of well established deciduous thicket (THD) habitat here (Photos 12, and 14). Although some of these shrub species in the deciduous thicket are non-native, it is recommended that the shrubs be retained in their current condition, where possible as they provide shoreline features and assist in bank stability.

The setback from the shoreline to the proposed road network/surface parking will be between 4.86 metres in the southern portion of the site to 22.6 metres in the northern portion of the site, however an expansion to the existing stormwater pond located near the shoreline on the Phase 1/2 lands, will also be constructed near the shoreline on the Phase 3 lands. The project planner reports that a minor variance will be applied for this reduced setback distance. This setback area generally has been highly disturbed as a result of the development on the Phase 1 & 2 lands and the preparation of the site for the Phase 3 works as well as historical woody vegetation removal. The setback is to be planted with a variety of native trees and shrubs, as described below.

#### Stormwater

A Stormwater Management Report, dated January 8, 2025 has been prepared by Jp2g for the proposed development. Information from this report has been repeated below for reference:

- *Stormwater from the site will be treated through a treatment train approach including a new oil and grit separator and stormwater retention areas. Storm water will be controlled by an inlet control device at the outlet of CBMH-3 as well as an inlet control device at the outlet of the existing catchbasin in the existing dry retention pond.*
- *Post-development peak flows will be detained in the asphalt parking area and in a dry retention pond in order to limit the post-development release rate to allowable levels. Sufficient storage to accommodate the 100-year event is provided.*
- *In the event the capacity of this system is exceeded, emergency runoff will overflow from the dry retention pond to the Madawaska River.*

Therefore in the event that the capacity of the dry pond is exceeded (>100 year event), emergency runoff will overflow from the dry retention pond into the Madawaska River. In this event, the River and associated aquatic and fish habitat will be impacted given that untreated water will flow into the Madawaska River, however these impacts will be relatively short in duration and will theoretically occur only once every 100 years +. Therefore, the overall potential impact on the aquatic and fish habitat within the River is considered minor.

### Vegetation Plantings

It is very important that all tree, shrub and ground flora plantings are native species of local origin and seed stock to give the best opportunity for success. A mix of coniferous and deciduous tree species such as sugar maple, red maple, white spruce, white pine, red oak, and basswood are recommended, along with native dogwoods, maple-leaved viburnum, highbush cranberry, ninebark, and nannyberry. As the plantings develop, they will provide far more tree cover than is currently present on the site.

The number, location, and type of plantings are to be shown in a planting plan produced by a landscape architect. The plantings should be staggered and clustered, mixed among trees and shrubs and not planted in a grid format.

### Summary of Mitigation Measures

Similar to the mitigative measures produced in the 2020 version of this report in support of the Phase 1/2 development, the following summary of recommendations and conditions to implement the mitigative measures is provided for the Phase 3 site:

1. The extent of exposed soils shall be kept to a minimum at all times. Re-vegetation of exposed, non-developed areas shall be achieved as soon as possible;
2. The number, location (including along the shoreline and within the area of the water setback), and type of plantings are to be shown on a planting plan produced by a landscape architect. All plantings are to be native species of local stock. The plantings should be staggered and clustered, mixed among trees and shrubs and not planted in a grid format;
3. The objective with respect to erosion and sediment controls will be to ensure that the surface water runoff leaving the site is not degraded with respect to water quantity or quality. Erosion and sediment control will focus on best management practices such as grassed swales with a reduced slope and direction of roof yard runoff to grassed and other vegetated areas. Only clean surface water is to be directed towards the Madawaska River setback;
4. During construction many sediment and erosion control measures will be implemented including filtering of any groundwater pumped prior to release to the environment, properly installed and maintained silt fencing, seepage barriers deployed in any temporary drainage ditches, and filter clothes on open surface structures until these structures are fully functional. These control measures must be properly maintained, including repair of broken panels and removal of accumulated sediment, to maximize their function during construction. Silt fencing is to be placed around the perimeter of the work area, including along the east edge of the Madawaska River setback (west limit of disturbance). All silt fencing must be removed once construction is complete and the site is stabilized;
5. The contractor is to be aware of potential Species at Risk in the vicinity of the study corridor including butternut, black ash, barn swallow, chimney swift, Blanding's turtle,



northern map turtle and river herring. The project biologist is Bernie Muncaster (613-748-3753). Any Species at Risk sightings are to be immediately reported to him and the Ministry of the Environment, Conservation and Parks and activities modified to avoid impacts until further direction is provided by the Ministry;

6. To protect breeding birds, no tree or shrub removal should occur between April 15<sup>th</sup> and August 31<sup>st</sup>, unless a breeding bird survey conducted by a qualified biologist within five days of the woody vegetation removal identifies no active nests in the trees or shrubs. No stick nests or other evidence of raptor utilization on the site was observed;
7. Municipal by-laws and provincial regulations for noise will be followed and utilities will be located as required in the vicinity of the site prior to construction; and,
8. Waste will be managed in accordance with provincial regulations. The contractor will have a spill kit on-hand at all times in case of spills or other accidents.
9. In order to avoid attracting wildlife into the work area, the work area is to be kept clear of garbage and standing water.

### **Conclusion**

Phase 1 & 2 consists of two fifty-nine unit four story apartment buildings which are separated by an access lane, drop-off area and surface parking. Additional surface parking and a 370 m<sup>2</sup> amenity building are located between the buildings and the Madawaska River.

Phase 3 of the proposed development consists of one 57 unit five story apartment building and associated parking area.

Outside of the Madawaska River (valleyland and fish habitat) no significant natural heritage features, as identified in the Provincial Policy Statement, were observed on or adjacent to the site. The development area is highly disturbed with the vast majority of trees removed several years ago.

Given that the subject lands have been disturbed and that the shoreline is rocky and contains exposed bedrock on the Phase 3 lands, the habitat use within the water setback area on the subject lands is limited. The rocky nature of the shoreline does however provide stability to the shoreline. For these reasons, a reduced setback is considered acceptable provided the important mitigation measures identified in this EIS are properly implemented, including plantings of native trees and shrubs. The existing shrubs along the shoreline are recommended to be maintained where possible within the area of the water setback, with plantings of native trees and shrubs in the balance of the setback to the east which is currently devoid of woody vegetation. The plantings are to be shown on a planting plan prepared by a landscape architect. As the plantings develop, they will provide far more tree cover than is currently present on the site.

This Environmental Impact Study concludes that the proposed Phase 3 apartment development will avoid negative impacts, as defined in the Provincial Policy Statement, on significant natural

heritage features and functions, including the Madawaska River and the environment in general provided the important mitigation and avoidance measures identified in this EIS are properly implemented. This EIS further concludes that the net impacts of the proposed development and associated site alterations, following proper implementation of the recommended mitigation measures, are not anticipated to be negative to the Madawaska River and the environment in general, and the development proposal is consistent with the intent of the Provincial Policy Statement and the policies in the Town of Arnprior Official Plan and the County of Renfrew Official Plan.

## **References**

County of Renfrew. 2020. County of Renfrew Official Plan. March 26, 2020. 207 pp & Schedules

Government of Canada. 2019. Fisheries and Oceans Canada. Aquatic Species at Risk Map.

Ministry of Natural Resources and Forestry. 2022. Ministry of Natural Resources and Forestry Make-a-Map: Natural Heritage Areas.

Ontario Ministry of Natural Resources. 2010. Natural Heritage Reference Manual for Natural Heritage Policies of the Provincial Policy Statement, 2005. 2<sup>nd</sup> Edition. March 2010. 233 pp.

Ontario Ministry of Natural Resources and Forestry. 2015. Significant Wildlife Habitat Criteria Schedules for Ecoregion 6E. January, 2015. 38 pp.

Stantec Consulting Limited. 2020. Town of Arnprior Madawaska River Emergency Watermain Crossing - Species at Risk Screening and Fish Habitat Impact Assessment. June 9<sup>th</sup>, 2020. File 163401587. 11 pp. & append

Town of Arnprior. 2017. Town of Arnprior Official Plan. June 16, 2017. 103 pp & Schedules

Please call if you have any questions on this scoped Environmental Impact Study.

Yours Sincerely,  
**MUNCASTER ENVIRONMENTAL  
PLANNING INC.**

**JP2G CONSULTANTS INC.**



Bernie Muncaster, M.Sc.  
Principal



Bryana Kenny, B.Sc. (Hons.)  
Biologist | Planner

/arnprior/jackeis



# Vegetation Communities

- (A) Cultural Meadow
- (B) Cultural Thicket

# Legend

- Site
- West Limit of Development

Approx. Scale 1:2,100



**Figure 1**

**FILE: 20 - 24**

**September 19, 2020**

Prepared for: **6772447 Can Inc.**

Prepared by:



**SCOPED ENVIRONMENT IMPACTED STUDY**

**Apartment Project  
Arnprior**

The site plan illustrates the proposed 150-unit, four-story apartment building at the intersection of Madison Avenue and Jack Crescent. The building is a large rectangular structure with a central entrance and multiple wings. The plan includes numerous parking spaces, a designated 'DROP OFF' area, and a 'NEW SIDEWALK' running along the intersection. Key features and notes include:

- Building Layout:** The building is a large rectangular structure with a central entrance and multiple wings. It is labeled '150 UNIT FOUR STORY APARTMENT BUILDING (PHASE 1)'.
- Parking:** Numerous parking spaces are shown, including a designated 'DROP OFF' area. The plan also includes a 'TYPICAL PARKING SPACE' and a 'TYPICAL PARKING SPACE'.
- Streets:** The building is located at the intersection of Madison Avenue and Jack Crescent. A 'NEW SIDEWALK' is proposed along the intersection.
- Landmarks:** A 'PROPOSED NEW WALKWAY' and a 'PROPOSED NEW WALKWAY' are shown. The plan also includes a 'PROPOSED NEW WALKWAY'.
- Notes:** The plan includes various notes regarding the building's location, parking, and surrounding infrastructure. For example, 'EXISTING PARKING TO BE DELETED MINOR WATERMAIN TO BE RELOCATED TO THE SOUTH OF THE PHASE 1 APARTMENT BUILDING' and 'PROPOSED LOCATION OF A NEW 150' WATER MAIN FOR THE RELOCATED MINOR WATERMAIN (TWO)'.

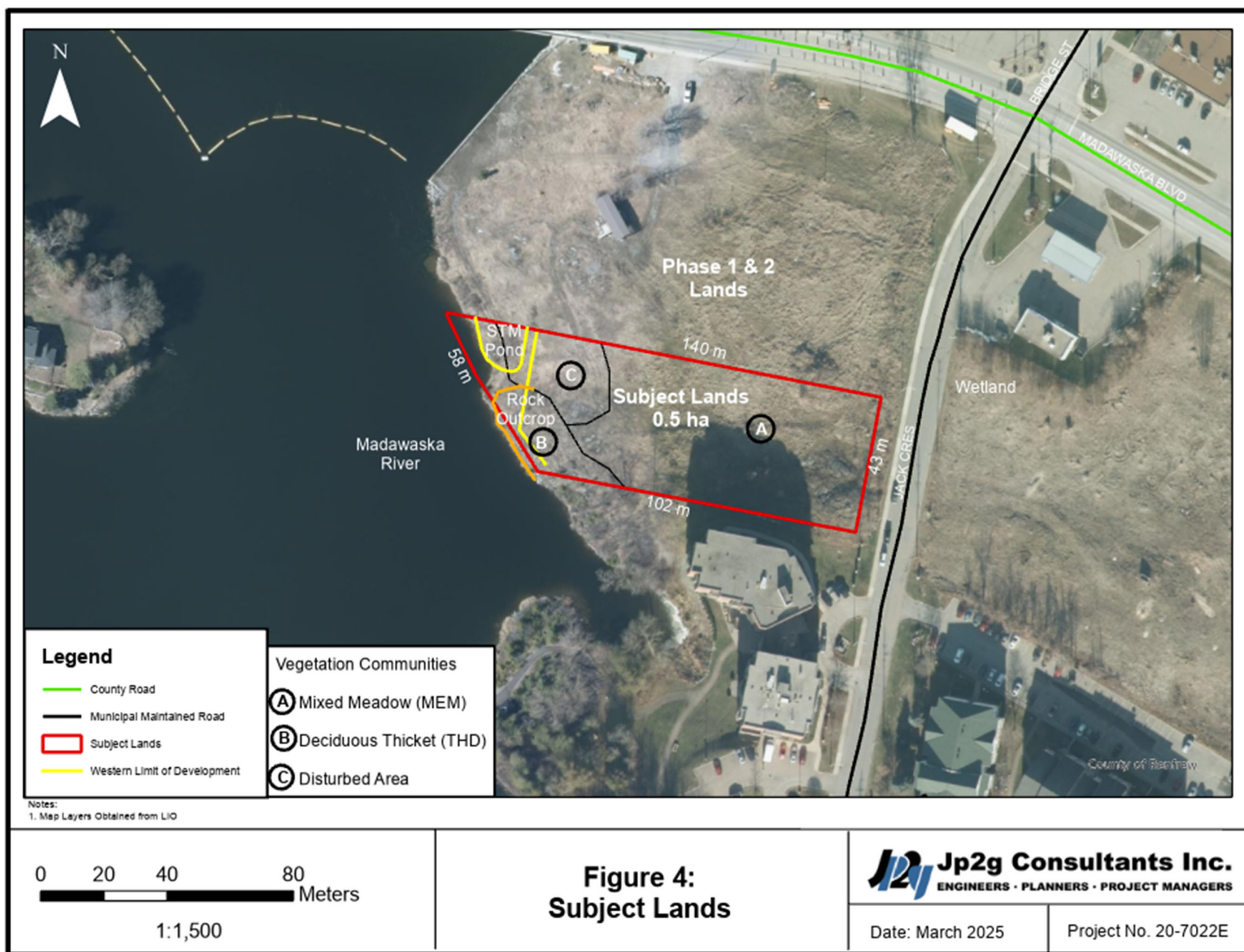
Architectural site plan for a proposed 5-storey apartment building. The plan shows the building footprint, parking spaces (14 spaces at 2.7m x 3.6m), and surrounding infrastructure including the Madawaska River and Jack Crescent. Key dimensions and bearings are provided for the building and its setbacks.

**Proposed 5 Storey Apartment Building**  
(18.80m BUILDING HEIGHT)

**Key Dimensions and Bearings:**

- Building footprint dimensions: 18.80m (width), 14.70m (depth).
- Setbacks: 1.80m (front), 1.80m (side), 1.80m (rear).
- Parking spaces: 14 SPACES AT 2.7m x 3.6m.
- Surrounding infrastructure: MADAWASKA RIVER, JACK CRESCENT.







## Town of Arnprior Staff Report

**Subject:** Zoning By-law Amendment 4/25 – Marshall's Bay Meadows Phase 5A & 5B

**Report Number:** 25-05-26-03

**Report Author and Position Title:** Alix Jolicoeur, Manager of Community Services / Planner

**Department:** Community Services

**Meeting Date:** May 26, 2025

---

### Recommendations:

**That** Council adopts a by-law to amend Zoning By-law 6875-18 to change the zoning of part of the land legally described as McNab Concession C, Part of Lot 1; Concession D Part of Lot 1; Part Road Allowance, Registered Plan 49R-19293 Part of Part 1, Arnprior Ontario, from "Residential Three (R3)" and "Residential Three Exception 41 (R3\*41)" to "Residential Three Exception 48 (R3\*48)" to reduce the minimum required lot frontage for a single-detached dwelling from 12.0 m to 10.0 m.

**Further That** Council has considered all written and oral submissions received on this application, the effect of which has helped Council make an informed decision.

### Background:

**Owner:** Marshall's Bay Regional Inc.

**Legal Description:** legally described as McNab Concession C, Part of Lot 1; Concession D Part of Lot 1; Part Road Allowance, Registered Plan 49R-19293 Part of Part 1, Arnprior

**Area of Land:** 7.32 ha

**Existing Structures:** vacant

**Official Plan:** Low/Medium Density Residential Area

**Zoning:** Residential Three (R3) and Residential Three Exception 41 (R3\*41)

An application for Zoning By-law amendment was received to reduce the minimum required lot frontage for single-detached dwellings from 12.0 m to 10.0 m in order to allow the development of single-detached dwellings on narrower lots within Phases 5A and 5B of the Marshall's Bay subdivision.



The proposed development is subject to subdivision application No. 47-T-14002.

The subdivision has received previous approvals from the Town of Arnprior and County of Renfrew. An Official Plan Amendment was approved by the Town of Arnprior in June 2013 that re-designated the lands to permit residential and commercial development, followed by a Draft Plan of Subdivision that was approved by the Town and County in August 2015. A revised Draft Plan of Subdivision was approved on December 11, 2018, with implementing Zoning By-law amendments adopted by Council on April 23, 2019, for Phase 1 of the Subdivision; March 31, 2021, for Phase 2; and December 13, 2021, for Phases 3, 4A and 4B. A Zoning By-law Amendment was approved October 10, 2023, for Phase 4B, 5A, and 5B. Phases 1 through 4A of the subdivision have been registered.

### **Context**

The subject lands are part of Phases 5A and 5B of the Marshall's Bay Meadows Subdivision. Document 2 shows the subdivision Phasing Plan submitted with the application.

Figure 1 is an aerial photograph of the area from 2020.



*Figure 1 Aerial photo from 2020 of the subject and surrounding lands*

### Draft Plan of Subdivision Revision

The proposed revision to the Draft Plan of Subdivision (see Document 2: Revised Subdivision Concept Plan with Phasing) is to accommodate a revised lotting pattern and unit count as a result of the Zoning By-law Amendment application. The units on the south side of Rudd Lane were previously proposed as semi-detached dwelling units. These lots are now proposed as single-detached dwelling units, some on narrower lots. The switch to single-detached dwellings together with the narrow minimum lot frontage as requested would result in a net increase of three residential units. Additional units are being accommodated within Phases 5A and B under the current zoning by narrowing townhouse units while still meeting all applicable zoning requirements.

These changes allow an overall increase of units from 533 residential units to 542 units.

The revised subdivision lotting would consist of:

- 130 single detached dwellings;
- 52 semi-detached dwellings;
- 186 street townhouse dwellings;

- 54 back-to-back townhouse dwellings (to be part of a subsequent Site Plan application);
- 120 apartment dwellings;
- 2 blocks for community parks;
- 1 block for commercial uses; and
- 2 blocks for servicing and stormwater management

The layout of the Revised Draft Plan of Subdivision maintains most aspects from the original draft plan approval. The road pattern proposed has not been altered from the original draft plan approval and the total proposed road frontages have not changed. Similarly, the two proposed park blocks are consistent with the original draft plan approval with respect to location and park sizes. The commercial block was registered with Phase 1 of the Subdivision and is not proposed to be altered. Revisions that have been made to the approved Draft Plan of Subdivision are strictly to lotting and the redistribution of unit types.

The County of Renfrew has determined that red line changes to the approved draft plan of subdivision are not required for the changes to lotting proposed as it is considered minor in nature.

## **Discussion:**

### **Provincial Planning Statement, 2024**

The Provincial Planning Statement, 2024 (PPS, 2024) section 2.2.1. requires planning authorities to “provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by...permitting and facilitating all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units... [and] promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities and supports the use of active transportation.”

The proposed amendment would allow for re-lotting, which increases the density of the subdivision and allows for development of smaller single detached units on a smaller lot which can allow for more affordable single-detached dwellings and more efficiently use land and existing and proposed infrastructure. In the opinion of staff, the requested zoning amendment is consistent with the applicable policies of the PPS, 2024.

### **Official Plan Policies**

The subject property is designated Low/Medium Density Residential Area in the Town of Arnprior Official Plan.

The objectives of the Low/Medium Density Residential Area designation are to:

- a) Provide for new housing opportunities to meet the Town's projected housing needs;
- b) Provide for a range of housing types and forms to ensure accessible, affordable, adequate, and appropriate housing for all socio-economic groups;
- c) Achieve more compact forms of residential development in a manner that is compatible with the character and pattern of adjacent surrounding development;
- d) Ensure that new residential areas permit a variety of complementary and compatible land uses, including community facilities, open space areas; and,
- e) Establish a comprehensive set of design guidelines and policies for new residential development that fosters the establishment of an urban environment that is safe, functional, sustainable, and attractive."

Permitted uses in the Low/Medium Density Residential Area designation include single-detached dwellings, semi-detached dwellings, townhouse dwellings, low-rise apartment buildings (maximum height 6 storeys), additional dwelling units, home based businesses, bed and breakfast, day nurseries and local institutional uses.

Section A3.2 (Sustainable Development) of the Official Plan lists objectives "to promote and encourage sustainable forms of land use and development." The objectives include "a) Minimize the Town's ecological footprint and the impacts of growth by encouraging new development that is based on the principles of sustainable development;" and "f) Promote a compact urban form and develop an energy-efficient mix of land uses, where appropriate, to provide livable, healthy communities;"

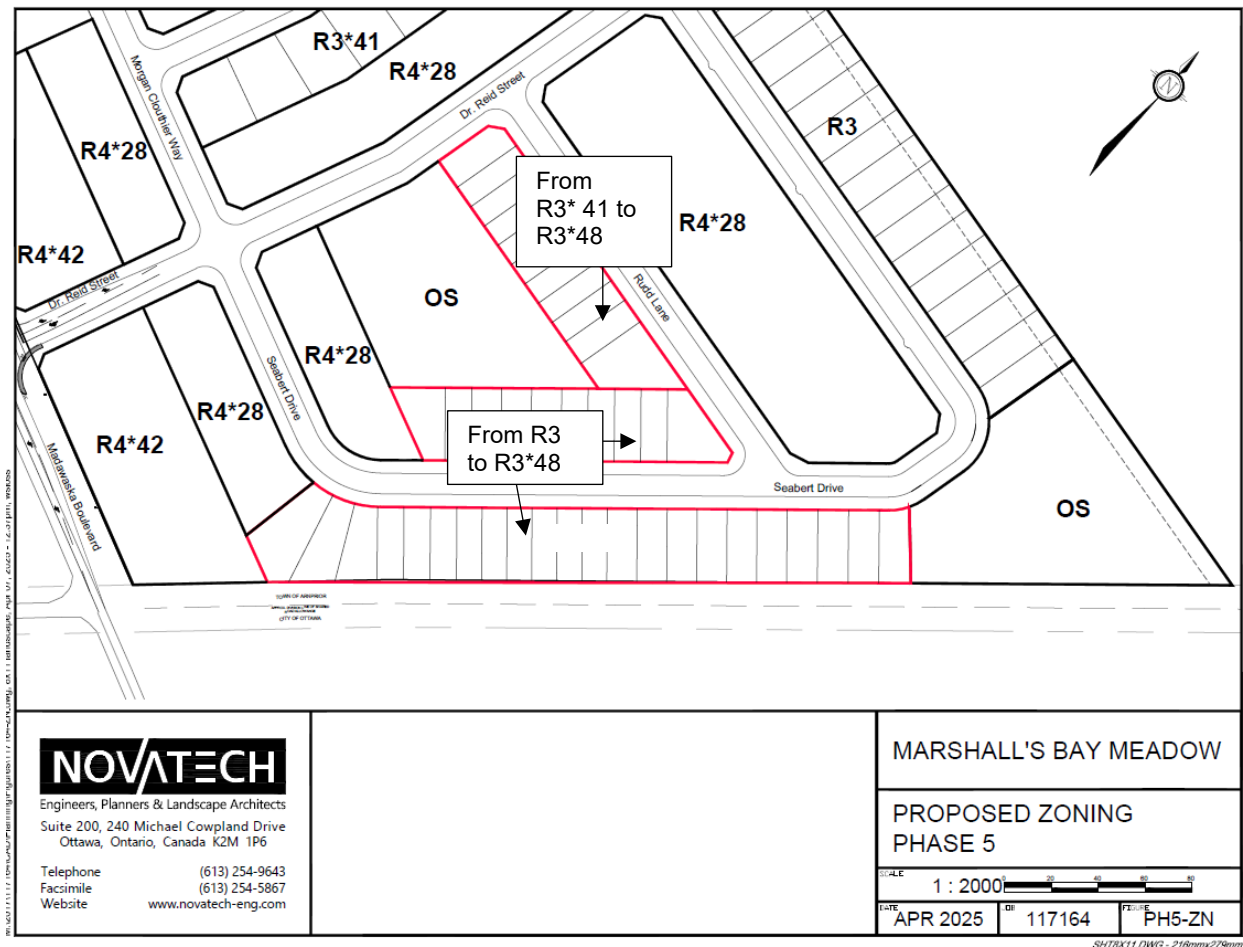
Section A3.8 (Housing) of the Official Plan lists objectives aimed at meeting the goal "To provide an appropriate housing supply and range of housing choices to meet the needs of present and future residents." Objectives include to "Ensure that a full range of housing opportunities for all incomes and ages is available for residents in the Town."

In the opinion of staff, the proposed zoning amendment is consistent with the permitted uses in the Low/Medium Density Residential area designation which includes single detached dwellings. The zoning by-law amendment is consistent with the objectives for the designation in that it would allow for a range of housing types and affordability levels, and achieves a more compact form of residential development, while maintaining compatibility through use of consistent setbacks.

In the opinion of staff, the requested zoning by-law amendment is also consistent with the goals and objectives of section A3.2 (Sustainable Development) and A3.8 (Housing) in that the additional dwelling units resulting from the proposed amendment more efficiently utilize the development lands and existing and proposed infrastructure, and the resulting smaller lots could allow for increased affordability.

### **Zoning By-law Provisions**

The current zoning of the land is "Residential Three (R3)" and "Residential Three Exception 41 (R3\*41)." The proposed zoning by-law amendment is shown in the zoning sketch below.



Exception 41 states that all uses in the R3 zone are “Exempt from Section in 6.4.3g) of the By-law which requires that individual driveways accessing the two semi-detached dwellings be paired.”

The zoning by-law amendment application requests that the minimum lot frontage for a single-detached dwelling be reduced from 12.0 m to 10.0 m. All other setbacks and applicable provisions would remain unchanged.

Site plans for the narrower single-detached lots have been provided demonstrating all applicable setbacks, height provisions and parking requirements would be met. Actual development of the lots may differ from the conceptual site plans provided.

## Process

April 14, 2025 – Council authorized holding the statutory public meeting

May 12, 2025 – Public meeting on the application held

May 26, 2025 – Decision on the application by Council. Should Council pass the amending by-law or refuse to pass the by-law, a 20-day appeal period to the Ontario

Land Tribunal will apply.

### **Options:**

1. Refuse the requested zoning by-law amendment. This is not recommended by staff.

### **Policy Considerations:**

As outlined above.

### **Financial Considerations:**

Not applicable.

### **Meeting Dates:**

1. April 14, 2025 – Council authorized holding the statutory public meeting May 12, 2025
2. May 12, 2025 – Public meeting on the application held
3. May 26, 2025 – Decision on the application by Council.

### **Consultation:**

The zoning by-law amendment application was circulated to the County of Renfrew, Renfrew County District School Board, Renfrew County Catholic District School Board, Conseil des Ecoles Catholiques centre-est, Enbridge Gas, Ontario Power Generation, Hydro One Networks Inc., McNab/Braeside, City of Ottawa, Ministry of Municipal Affairs and Housing, Arnprior Fire Chief, Arnprior Chief Building Official, General Manager of Operations, and CAO for comment.

Comments received:

#### **City of Ottawa, c/o Cheryl McWilliams, Planner 3, Rural Planning**

"We have reviewed the proposed zoning by-law amendment for the below noted development and have no concerns.

'Subject Lands: The land affected by the amendment is legally described as part of McNab Concession C, Part of Lot 3, Part 1 on Registered Plan 49R-19701, Arnprior Ontario (see key map).

Purpose, Effect & Location of the Amendment: The purpose of the proposed amendment to Comprehensive Zoning By-law 6875-18 is to amend the zoning of the subject property from "Residential Three (R3)" and "Residential Three exception 26 (R3\*26)" to Residential Three



exception 41 (R3\*41) to reduce the minimum required lot frontage for a single-detached dwelling from 12.0 m to 10.0 m in order to allow development of single-detached dwellings on narrower lots.”

### **Public comments:**

Comments received as part of the public meeting are summarized in the meeting minutes of the Council meeting of May 12, 2025. Concerns from residents related to:

- the properties backing onto the existing dwellings on Yade Rd. This area is not subject to the current application.
- Servicing the additional dwelling units and the potential impact on existing services. Servicing considerations for the additional dwelling units are being considered as part of the subdivision review process which occurs prior to entering into a subdivision agreement for the phase. No concerns have been identified regarding the capacity of the existing and proposed infrastructure to accommodate the additional dwelling units that would be permitted by the requested zoning by-law amendment

### **Documents:**

1. Key Plan
2. Zoning sketch
3. Revised Subdivision Concept Plan with Phasing
4. Conceptual site plans
5. Planning Rationale submitted by the applicant

### **Signatures**

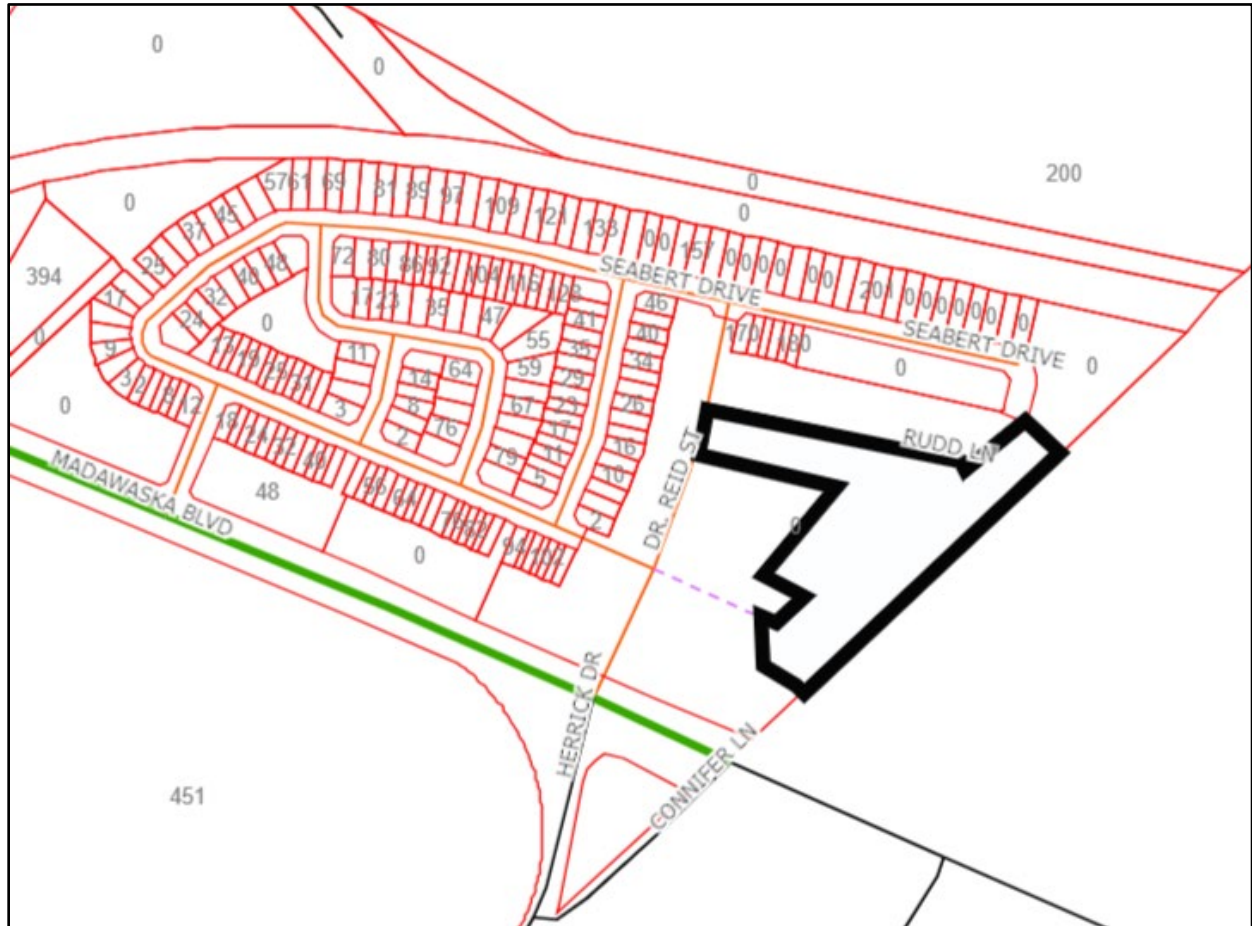
**Reviewed by Department Head:** Alix Jolicoeur

**Reviewed by General Manager, Client Services/Treasurer:** Jennifer Morawiec

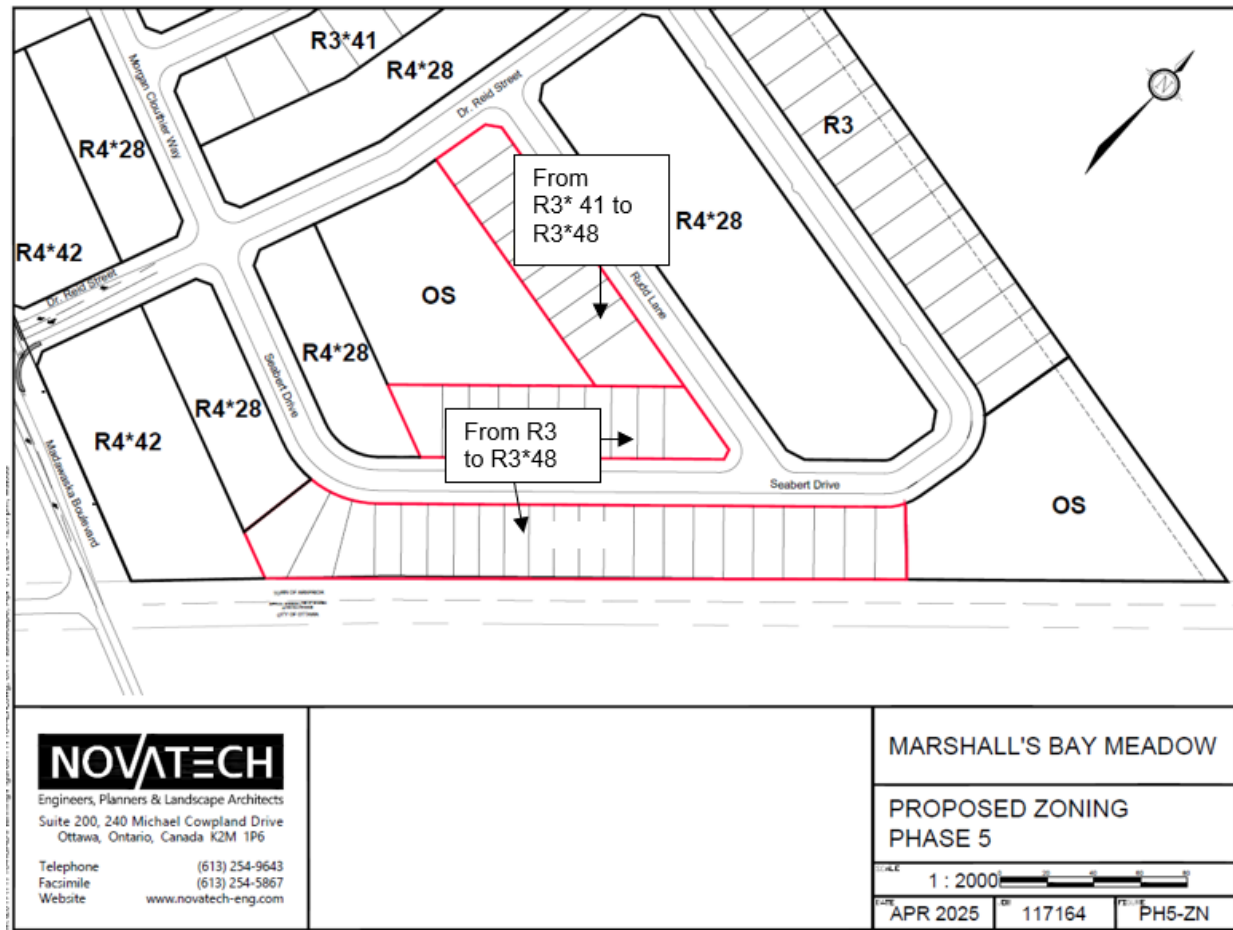
**CAO Concurrence:** Robin Paquette

**Workflow Certified by Town Clerk:** Kaila Zamojski

## Document 1 – Key Map



## Document 2 – Zoning sketch



## **Document 3 – Revised Subdivision Concept Plan with Phasing**



Unit Type	Unit Count (Phase 1A)	Unit Count (Phase 1B)	Unit Count (Phase 2)	Unit Count (Phase 3)	Unit Count (Phase 4A)	Unit Count (Phase 4B)	Unit Count (Phase 5A)	Unit Count (Phase 5B)	Total
42' Singles	28	0	20	15	24	0	13	0	100
37' Singles	0	0	0	0	0	0	19	2	21
33' Singles	0	0	0	0	0	0	0	9	9
31' / 38' Semis	6	14	0	32	0	0	0	0	52
25' Bungalow Town	30	0	9	17	12	0	0	0	68
2-Storey Town	0	0	0	14	14	35	27	28	118
Back-to-Back Town	0	0	30	0	0	24	0	0	54
Low Rise Apartment	60	0	0	0	0	0	60	0	120
Total	124	14	59	78	50	59	119	39	542

Concept 18													
Saleable Frontage & Road Length	Phase 1A		Phase 1B		Phase 2		Phase 3		Phase 4A		Phase 4B		TOTAL
	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)	Frontage (m)	roads (m)	
Residential	689.60	526.59	179.83	227.75	361.71	242.12	807.27	488.80	530.99	337.91	245.36	366.05	3713.71
Medium Density	50.63				48.69						51.43		202.56
Total	740.23	526.59	179.83	227.75	410.40	242.12	807.27	488.80	530.99	337.91	296.79	366.05	3916.27

Concept 18				
* Setback Assumptions: per PSA	length (m)	length (ft)	Area (m²)	Area (ha)
Areas				
Swm & Pump Station Blocks			15138.78	1.51
Park (5% of 24.02 ha = 1.20 ha)			9854.33	0.99
Highway Commercial	51.32	168.37	9539.41	0.95
Saleable Frontage				
Residential	3916.27	12848.62		
Road Lengths				
Road Length	2736.57	8978.22		

- Legend
- NeilCorp Homes
- 42' Singles
  - 31' Semis / 38' Semis
  - 25' Bungalow Town
  - 20' Street Town
- eQ Homes
- 42' Singles
  - 37' Singles
  - 33' Singles
  - 20' Street Town

NOTE:  
THE POSITION OF ALL POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS. AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.


SCALE	
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0 10 20 30 40 50	

DESIGN	
CHECKED	
DRAWN	wls
CHECKED	
APPROVED	

FOR REVIEW ONLY	

**NOVATECH**  
Engineers, Planners & Landscape Architects  
Suite 200, 240 Michael Cowpland Drive  
Ottawa, Ontario, Canada K2M 1P6

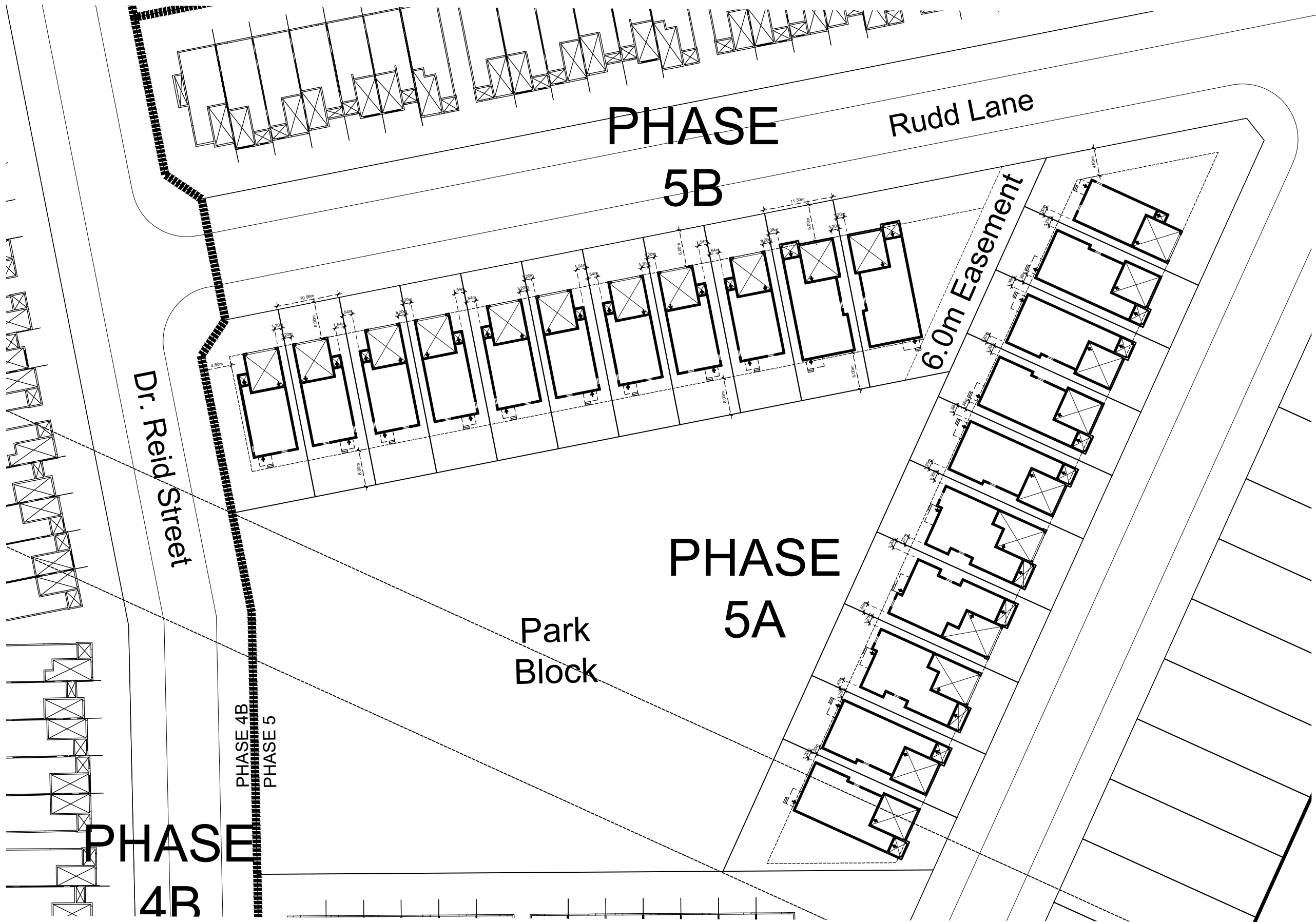
Telephone (613) 254-9643  
Facsimile (613) 254-5867  
Website www.novatech-eng.com

LOCATION Town of Annprior MARSHALL'S BAY MEADOW	
DRAWING NAME CONCEPT PLAN 18	PROJECT NO. 117164
	REV REV #1
	DRAWING NO. 117164-CP18



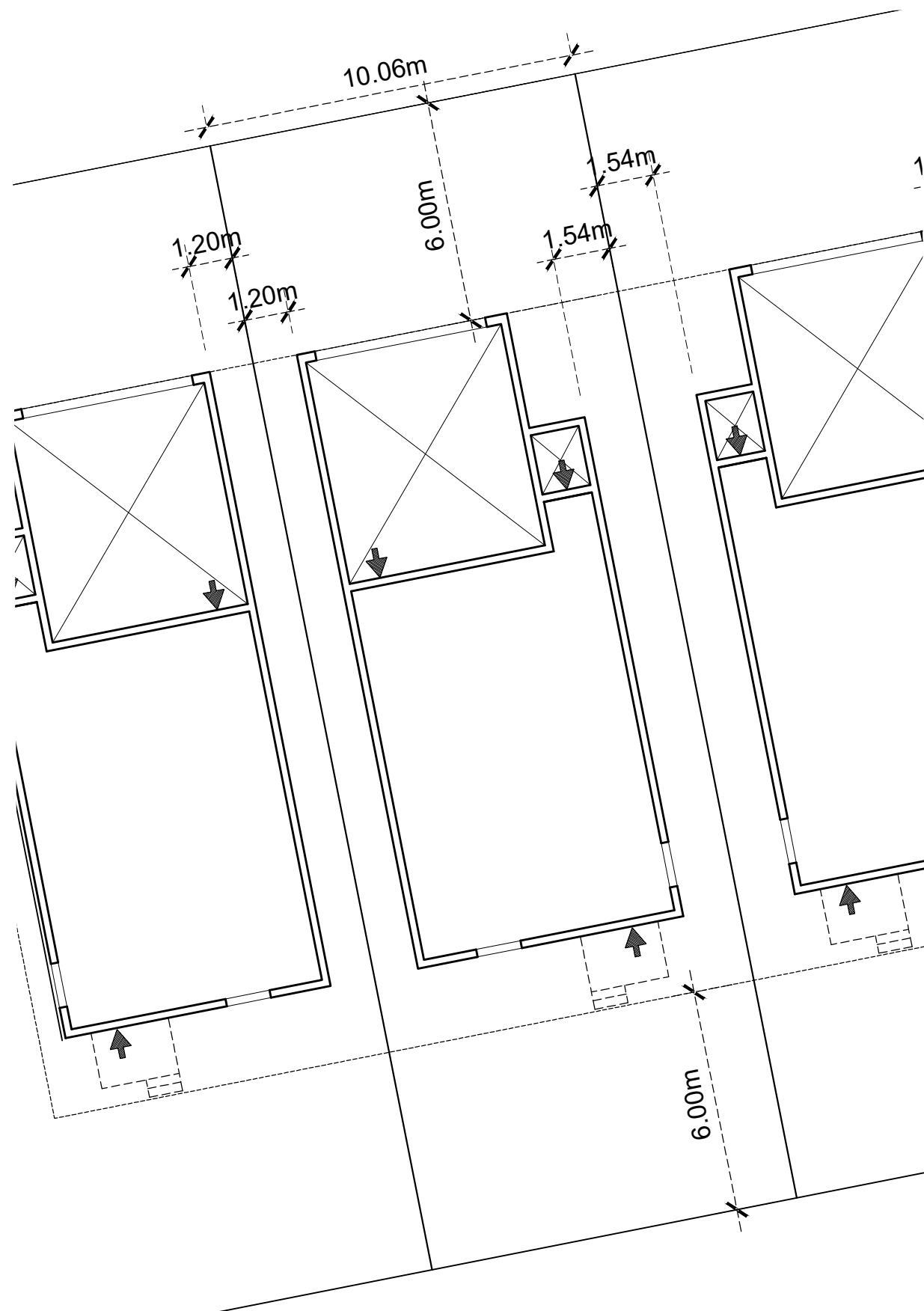
## **Document 4 - Conceptual site plans**



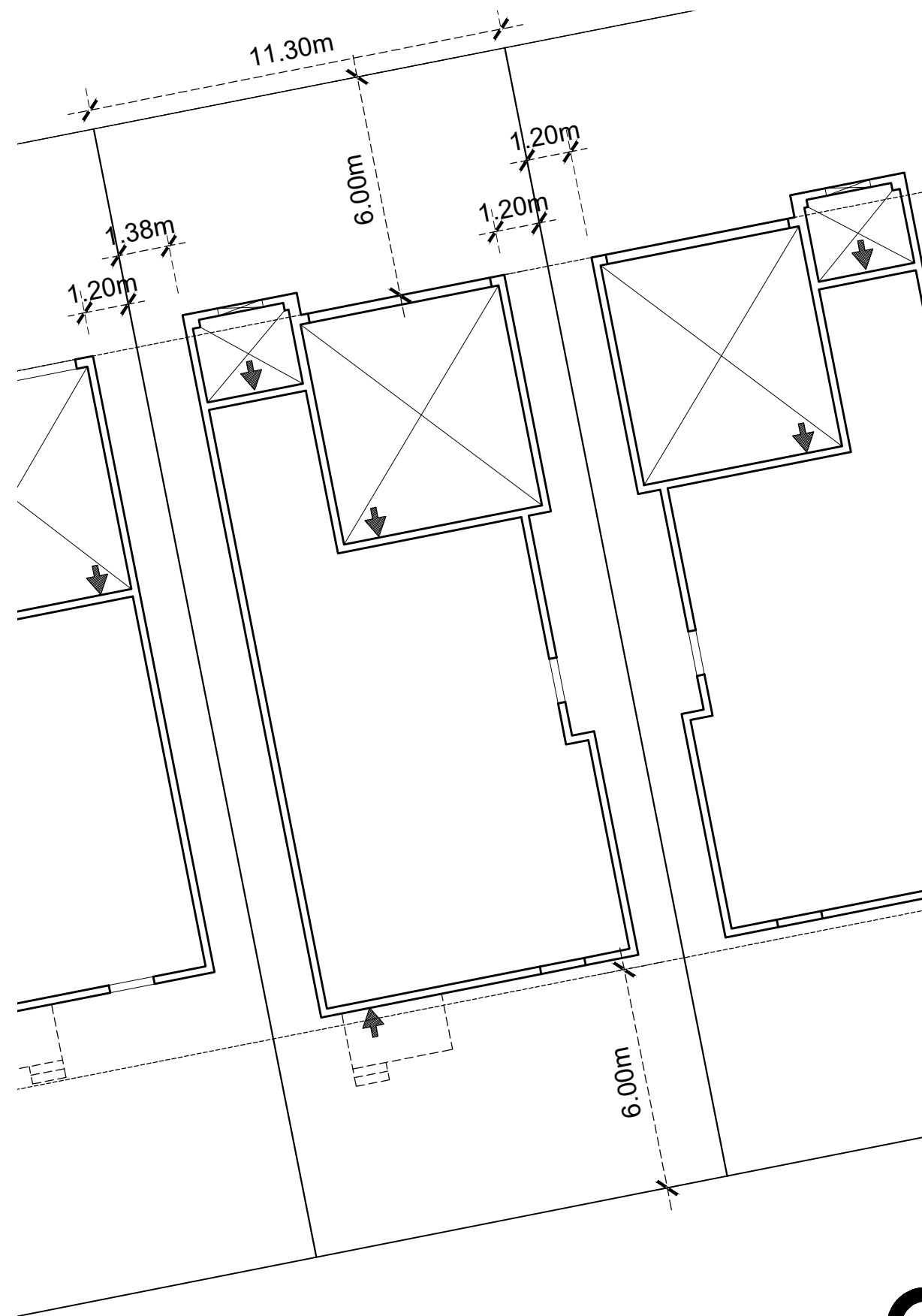


**\*\* This is conceptual. Footprints may vary. \*\***





33' Single



37' Single

**\*\* This is conceptual. Footprints may vary.\*\***

**Document 5 – Planning Rationale submitted by the applicant**

## Engineering

Land/Site  
Development  
Municipal  
Infrastructure  
Environmental/  
Water Resources  
Traffic/  
Transportation  
Recreational

## Planning

Land/Site  
Development  
Planning  
Application  
Management  
Municipal  
Planning  
Urban Design  
Expert Witness  
(OLT)  
Wireless Industry

## Landscape Architecture

Streetscapes &  
Public Amenities  
Open Space, Parks  
& Recreation  
Community &  
Residential  
Commercial &  
Institutional  
Environmental  
Restoration

## Marshall's Bay Meadows

### (Phases 5A & 5B)

#### Planning Rationale

#### Zoning By-law Amendment

**Marshall's Bay Meadows (Phases 5A & 5B)**

**Planning Rationale**

**Zoning By-law Amendment**

**Prepared by:**

**NOVATECH**

240 Michael Cowpland Dr. Suite 200  
Ottawa, Ontario  
K2M 1P6

File No.: 117164

Report Reference No. R-2025-28

**April 4, 2025**



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## **1.0 Introduction**

Marshall's Bay Regional Inc. is the owner of lands in the Town of Arnprior originally known as 394 Madawaska Boulevard. Marshall's Bay Regional Inc. is in the final stages of development of the subject lands into a complete urban residential neighbourhood, known as Marshall's Bay Meadows. The neighbourhood combines various types and densities of residential dwellings and new commercial and higher density residential uses along Madawaska Boulevard. The subdivision is of sufficient size that has been designed and developed as a complete community that includes parks, open spaces and pedestrian networks.

Novatech has been retained by Marshall's Bay Regional Inc. to prepare a Planning Rationale in support of an application for a Zoning By-law Amendment for Phases 5A and 5B of the Marshall's Bay Meadows subdivision. The purpose of the Zoning By-law Amendment is to introduce new single family dwelling typologies in the form of 33- and 37-foot-wide lots (lots of 10.0 and 11.28 metres in width). The proposed Zoning By-law Amendment will not have any impact on the Draft Approved Plan of Subdivision in terms of the approved street layout, the location of parks and stormwater management ponds and the general layout of proposed residential typologies. The proposed Zoning By-law Amendment revisions reflect the current market conditions for housing demand in that single family dwellings with a smaller footprint are more affordable.

Implementing Zoning By-law Amendments for Marshall's Bay Meadows were adopted by Council on April 23, 2019 for Phase 1 of the Subdivision, March 31, 2021 for Phase 2 of the Subdivision and December 13, 2021 for Phases 3, 4A and 4B. The most recent Zoning By-law Amendment, which rezoned portions of Phase 4B as well as implementing zoning for Phase 5, was adopted by Council on October 10, 2023.

This Planning Rationale has been prepared to outline how the proposed Zoning By-law Amendment is consistent with Provincial policies, conforms to the Official Plan policies that are applicable to the proposed development and demonstrates that introducing new residential typologies represents good planning.

## 2.0 Site Location and Context

Marshall's Bay Meadows subdivision is located in the Town of Arnprior, in the County of Renfrew. The Town of Arnprior is located on the south shore of the Ottawa River at the outlet of the Madawaska River. The subdivision is located at the eastern limits of the Town of Arnprior (see Figure 1) and has approximately 667 metres (2,200 feet) of frontage along the north side of Madawaska Boulevard. Madawaska Boulevard is an east/west arterial road connecting the downtown area with the eastern neighbourhoods of the Town. Marshall's Bay Meadows is located less than 2.0 kilometres from the nearest Highway 417 Interchange (Exit 180).

**Figure 1: Site Location**



## 2.1 Project History

Marshall's Bay Meadows was previously designated as Employment Lands. The designation of the lands was amended to 'Residential' and 'Highway Commercial' through Official Plan Amendment No. 18, passed by Town Council in February 2013. The Town of Arnprior adopted a new Official Plan in 2017, which was approved by the County of Renfrew on December 7, 2017. The land use designations approved in OPA 18 have carried forward to the new Official Plan.

Marshall's Bay Meadows Subdivision (previously known as the T. Anas Holdings Subdivision) originally received Draft Plan of Subdivision on August 5, 2015. The current owners purchased the lands in March 2018 and proceeded to revise the general layout of the subdivision to improve connectivity and efficiency in the overall design of the new community.

A Draft Plan of Subdivision was approved by the County of Renfrew on December 11, 2018. The 2018 approved Draft Plan of Subdivision contained a total of 503 residential units.

The Zoning By-law Amendment to implement Phase 1 of Marshall's Bay Meadows was adopted on April 23, 2019 and registration of the Phase 1 subdivision occurred on February 3rd, 2021. The Zoning By-law Amendment to implement Phase 2 was adopted on March 31, 2021 and registration of the Phase 2 subdivision occurred on July 20, 2021. The Zoning By-law Amendment to implement Phases 3 and 4A was adopted on December 13, 2021 and registration occurred on April 5, 2023. The most recent Zoning By-law Amendment, which rezoned portions of Phase 4B as well as implementing zoning for Phase 5, was adopted by Council on October 10, 2023.

### **3.0 Proposed Zoning By-law Amendment**

The application for Zoning By-law Amendment is intended to permit a modest reduction in lot width for some single-detached dwellings currently zoned R3 and R3\*41 in Phases 5A and 5B of Marshall's Bay Meadows. The proposed reduction in lot width is intended to address residential market conditions by introducing new single-detached residential dwelling model types that have a smaller footprint and can be priced more affordably.

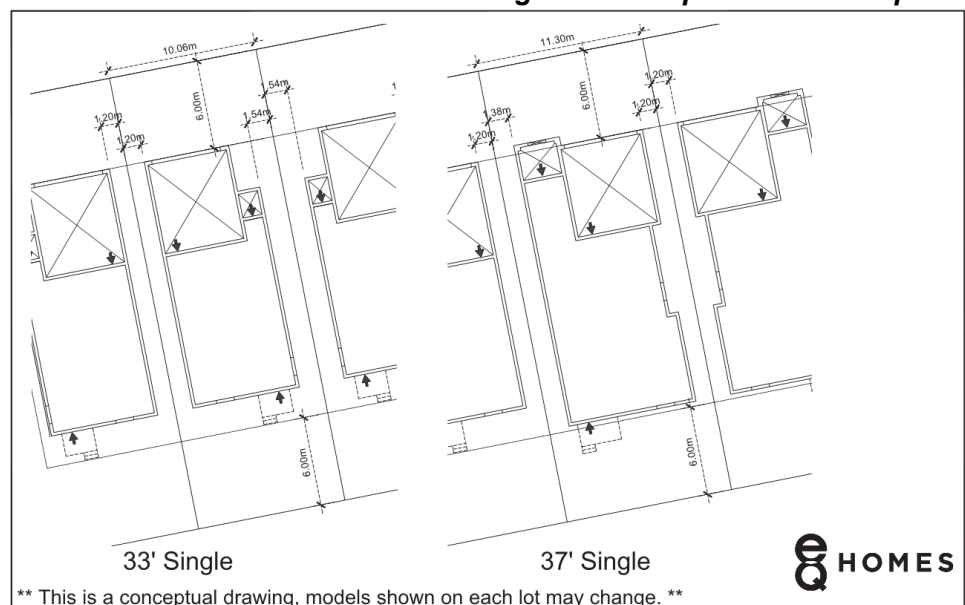
**The Zoning By-law Amendment proposes to reduce the lot width for single-detached dwellings in Phase 5A and 5B of Marshall's Bay Meadows from a minimum requirement of 12.0 metres to a new lot width of 10.0 metres (equivalent to approximately 33 feet). Not all proposed lots in Phase 5A and 5B will be reduced to a 10.0-metre lot width. The current concept plan for Phases 5A and 5B includes the following breakdown of single-detached dwellings:**

- 10.0-metre (33 foot) wide single-detached dwellings: 9
- 11.28-metre (37 foot) wide single-detached dwellings: 21
- 12.8-metre (42 foot) wide single-detached dwellings: 13
  - **TOTAL SINGLES (Phases 5A & 5B): 43**

The development concept plan for Marshall's Bay Meadows originally proposed semi-detached units on the south side of Rudd Lane in Phase 5B. These units have been converted to single-detached dwellings which results in a loss of 1 dwelling unit. Similarly, revised lotting for Phase 5A, together with the introduction of 33-foot and 37-foot lots, results in an increase of 4 dwelling units. **In total, the proposed Zoning By-law Amendment will result in an overall increase of 3 dwelling units.**

The proposed Zoning By-law Amendment does not seek to revise the required setbacks and building heights in any of the applicable residential zones. Proposed dwelling units and corresponding lots have been designed to ensure that minimum lot setbacks (including interior and exterior side yard setbacks) can be met without modifications to the Zoning By-law. Figure 2 below demonstrates that the proposed 33-foot and 37-foot lots will meet all required setbacks.

**Figure 2: Sample House Footprints**

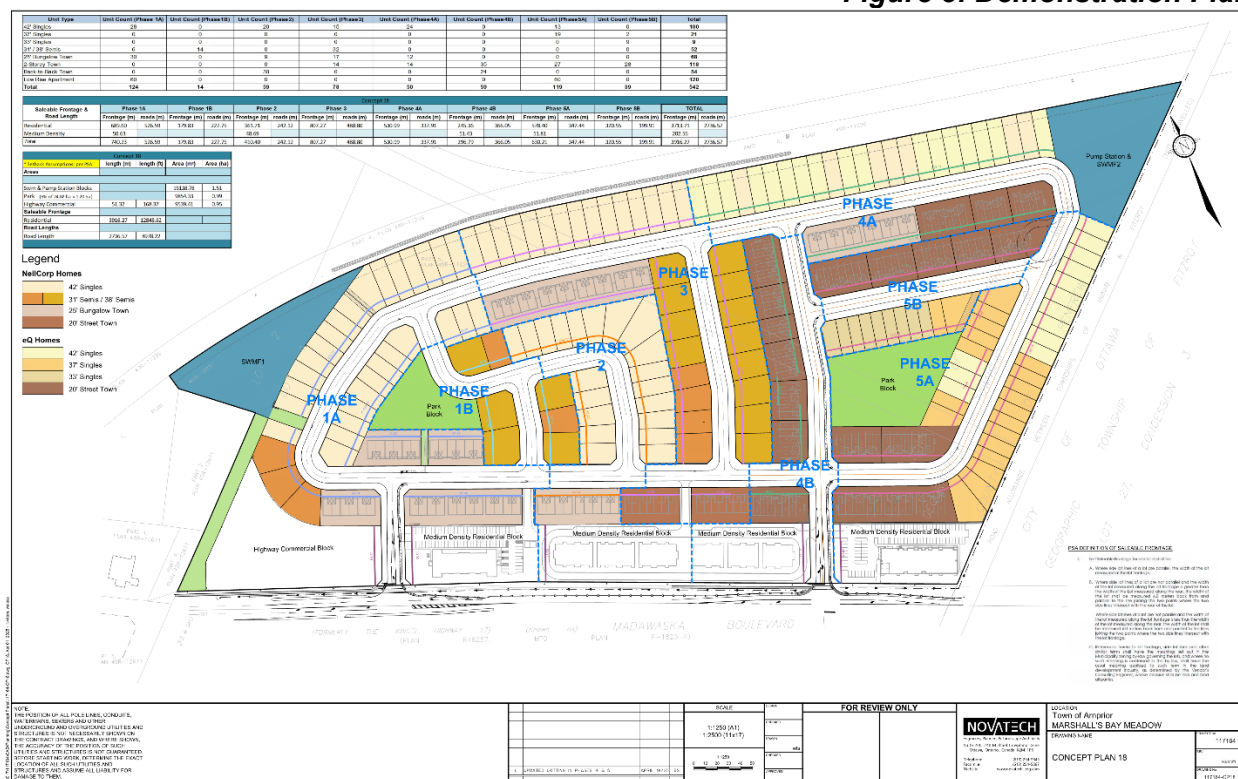




The proposed Zoning By-law Amendment will facilitate an increase of 3 dwellings within Phases 5A and 5B. Together with revisions to the layout of the street townhouses (which does not require a Zoning By-law Amendment, the resulting Plan of Subdivision (see Figure 3) consists of:

- 130 single detached dwellings;
- 52 semi-detached dwellings;
- 186 street townhouse dwellings;
- 54 back-to-back townhouse dwellings (to be part of a subsequent Site Plan application);
- 120 apartment dwellings;
- 2 blocks for community parks;
- 1 block for commercial uses; and
- 2 blocks for servicing and stormwater management.

**Figure 3: Demonstration Plan**



## 4.0 PLANNING POLICY FRAMEWORK

The following is a review of the existing planning policy framework and demonstrates that the proposed Zoning By-law Amendment is consistent with the Provincial Planning Statement (2024) and conform to the policies of the Town of Arnprior Official Plan.

### 4.1 Provincial Planning Statement (2024)

The 2024 Provincial Planning Statement (PPS) came into effect on October 20, 2024, and provides policy direction on land use planning and development matters of provincial interest. All decisions affecting planning matters “shall be consistent with” policies issued under the authority of Section 3 of the Planning Act.

Section 2.2 of the PPS outlines the methods in which municipalities are to be supporting various forms of housing throughout the Province. Policy 1 of Section 2.2 states,

*“Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:*

- a) establishing and implementing minimum targets for the provision of housing that is affordable to low and moderate income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options including affordable housing needs;*
- b) permitting and facilitating:*
  - 1. all housing options required to meet the social, health, economic and wellbeing requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and*
  - 2. all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;*
- c) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and*
- d) requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.”*

The proposed Zoning By-law Amendment introduces a modest reduction in the lot width of some lots within Phases 5A and 5B of Marshall's Bay Meadows. The proposal to reduce lot width will allow for home builders to provide a single-detached dwelling housing type that is on a smaller footprint. A smaller footprint dwelling in turn provides more opportunities for affordability for those residents seeking a single-detached dwelling. Increases densities promote further efficiencies in the use of land and resources with minimal increase in infrastructure demands.

The proposed Zoning By-law Amendment is consistent with the policy framework set out in the Provincial Planning Statement (2024). The proposed reduced lot widths for single-detached dwellings promotes efficient use of land within the urban area with no impact to natural environmental features, agricultural resources, mineral and aggregate resources or cultural heritage.

#### **4.2 Town of Arnprior Official Plan**

The Original Draft Plan of Subdivision was approved based on the policy framework of the Town of Arnprior Official Plan dated October 1997. The Town of Arnprior adopted a new Official Plan in 2017, which was approved by the County of Renfrew on November 29, 2017 (herein referred to as the 'Official Plan'). The following section identifies key policies and objectives of the Official Plan and demonstrates how the proposed Zoning By-law Amendment for a reduced lot width conforms to these policies and objectives.

Section A3.2 (Sustainable Development) of the Official Plan lists a number of Strategic Objectives aimed at meeting a goal *"to promote and encourage sustainable forms of land use and development"*:

- a) *"Minimize the Town's ecological footprint and the impacts of growth by encouraging new development that is based on the principles of sustainable development;*
- f) *Promote a compact urban form and develop an energy-efficient mix of land uses, where appropriate, to provide livable, healthy communities;*
- g) *Encourage reductions in the use of private automobiles by promoting active transportation and the use of Transportation Demand Management measures, such as cycling and walking;*
- h) *Encourage efficient site design, and building design and construction techniques that minimize space heating and cooling energy consumption, and encourage the upgrading/retrofitting of existing buildings and facilities;*

Section A3.4 (Community Character) lists objectives that direct new development to *"protect and enhance the character of the community"*:

- a) *Encourage the development of neighbourhoods which are: compact; provide for an integrated network of pedestrian-oriented streets, pathways and cycling facilities; and provide an appropriate mix of housing types, community facilities, commercial and service uses, and open spaces;*

The proposed Zoning By-law Amendment conforms to the objectives of Sections A3.2 and A3.4 by:

- **Slightly increasing overall density in Phases 5A and 5B through the moderate reduction in lot width for some, but not all, single-detached dwellings which more efficiently utilizing existing land supply as well as existing and proposed infrastructure.**
- **The proposed introduction of 10.0 metre (33-foot) and 11.28 metre (37-foot) single-detached dwellings allows for the introduction of new, more affordable, typologies of residential dwelling.**

Section A3.7 (Infrastructure) of the Official Plan lists objectives aimed at meeting a goal *“to ensure that all infrastructure, including sanitary sewers, water distribution and stormwater management facilities, roads and municipal facilities meet the needs of present and future residents and businesses.”*:

- a) *“Ensure that all infrastructure required to serve urban areas is built prior to, or coincident with, development;*
- b) *Encourage the establishment of an integrated transportation system that safely and efficiently accommodates various modes of transportation including cycling, walking, automobiles and trucks;*
- c) *Ensure that the construction of all infrastructure, or expansions to existing infrastructure, occurs in a manner that is compatible with adjacent land uses, is cost effective and with a minimum of social and environmental impact;*
- d) *Encourage the provision of infrastructure that is energy efficient, promotes water conservation and water efficiencies, and supports improvements to air quality;*
- e) *Encourage upgrades to the Town’s water and sewage collection system to improve efficiencies and expand capacity.”*

The proposed Zoning By-law Amendment conforms to the objectives of Section A3.7 by:

- **Allowing for an increase of 3 single-detached dwelling units (in place of semi-detached and single-detached dwellings) over all of Phases 5A and 5B of Marshall’s Bay Meadows while not impacting both the built and proposed infrastructure to support the remaining lots in the subdivision.**
- **The proposed Zoning By-law Amendment does not impact the additional park block for the community included in Phase 5A. Streets will continue to maintain the approved community street network and associated sidewalks.**

Section A3.8 (Housing) of the Official Plan lists objectives aimed at meeting a goal *“To provide an appropriate housing supply and range of housing choices to meet the needs of present and future residents”* by:

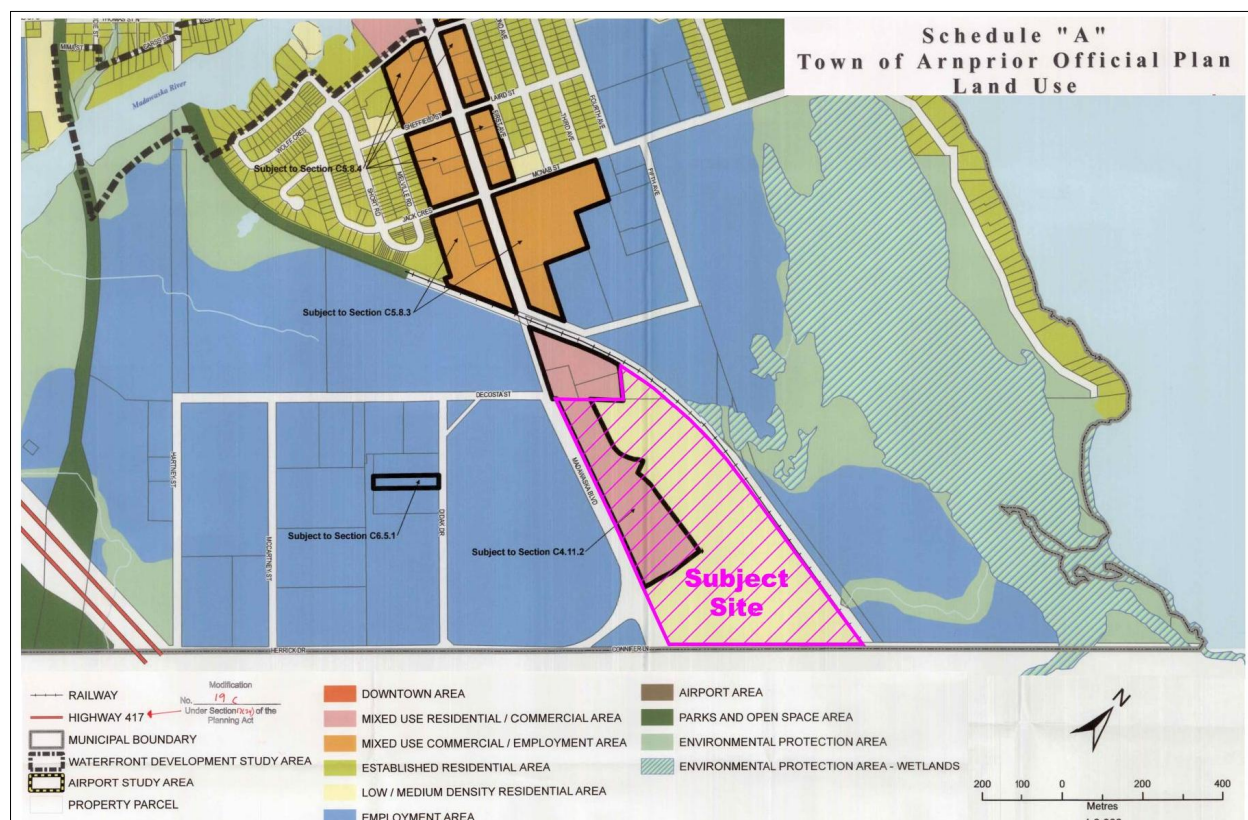
- a) *“Ensure that there is an appropriate supply of land for residential development subject to the availability of water and wastewater capacity;*
- b) *Assist in the achievement of residential intensification and affordable housing by encouraging opportunities for mixed-use development in appropriate locations that support the other objectives of this Plan;*
- e) *Ensure that a full range of housing opportunities for all incomes and ages is available for residents in the Town;*
- f) *Ensure that a viable amount of rental housing continues to be available;*
- g) *Support universal physical access and encourage the building industry to incorporate such features in new residential structures.”*

The proposed Zoning By-law Amendment conforms to the objectives of Section A3.8 by:

- Continuing to propose a mix of single-detached dwellings, semi-detached dwellings, street townhouses and apartments to ensure a full range of housing opportunities exist in Marshall's Bay Meadows. A mix of two-storey and bungalow units provide further options for housing to accommodate housing opportunities for a wide variety of lifestyles and needs.

Marshall's Bay Meadows has two land use designations on Schedule A – Land Use' of the Official Plan. The lands that are subject to the proposed Zoning By-law Amendment are designated 'Low/Medium Density Residential Area'. A portion of the southwest corner of the subdivision is designated 'Mixed Use Residential / Commercial Area' (see Figure 4).

**Figure 4: Town of Arnprior Official Plan Schedule (Excerpt)**



For lands designated 'Low/Medium Density Residential Area', Section C2.2 of the Official Plan states that the objectives of the designation are to:

- "Provide for new housing opportunities to meet the Town's projected housing needs;
- Provide for a range of housing types and forms to ensure accessible, affordable, adequate, and appropriate housing for all socio-economic groups;
- Achieve more compact forms of residential development in a manner that is compatible with the character and pattern of adjacent surrounding development;
- Ensure that new residential areas permit a variety of complementary and compatible land uses, including community facilities, open space areas; and,



- e) *Establish a comprehensive set of design guidelines and policies for new residential development that fosters the establishment of an urban environment that is safe, functional, sustainable and attractive."*

The proposed Zoning By-law Amendment conforms to the objectives of Section C2 by:

- **Expanding the typologies available for single-detached dwellings by providing a selection of unit types that are marginally smaller in lot width to accommodate a single-detached dwelling with a small building footprint. Options for two-storey and bungalow units provide housing opportunities for a wide variety of lifestyles and needs;**
- **Slightly increasing the number of units by establishing a further compact development in the form of smaller single-detached dwellings on 10.0-metre (33-foot) and 11.28 metre (37-foot) residential lots.**

Section C2.3 of the Official Plan establishes the list of uses permitted in the 'Low/Medium Density Residential Area designation'. Uses permitted are:

- a) *"Single detached dwellings;*
- b) *Semi-detached dwellings;*
- c) *Townhouse dwellings;*
- d) *Low-rise apartments buildings (maximum height – 6 storeys);*
- e) *Secondary residential units in accordance with Section B9.3;*
- f) *Home businesses in accordance with Section C1.5.1;*
- g) *Bed and breakfast establishments in accordance with Section C1.5.2;*
- h) *Day nurseries and local institutional uses in accordance with Section C1.5.3."*

All residential uses proposed in Phases 5A and 5B of Marshall's Bay Meadows are permitted in the 'Low/Medium Density Residential' designation. The proposed Zoning By-law Amendment does not have a negative impact on the provision for various dwelling types but increases the typologies of single-detached dwellings available in Marshall's Bay Meadows.

Section C2.4.1 of the Official Plan includes policies that are intended to promote the development of single-detached dwellings in all new large subdivisions. It is understood that the intent of these policies is to protect the historic residential character of the Town, which is predominately single-detached older homes. To address this intention, the policies of Section C2.4.1 state,

- a) *"The predominant form of housing in new development areas shall be in the form of single detached dwellings and in this regard, no less than 50% of the new dwelling units in any contiguous development area that has more than 20 units be comprised of single detached dwellings.*
- b) *This policy also applies to existing contiguous development areas as well and if an application to re-lot an already registered Plan of Subdivision is received by the Town.*
- c) *An amendment to this Plan is not required if the Town determines that an alternative approach that is generally in keeping with this section of the Plan is appropriate."*

The proposed Zoning By-law Amendment will result in an overall increase of 3 single-detached dwelling units within Phases 5A and 5B of Marshall's Bay Meadows. This slight increase in the overall number of single-detached dwellings (which replaces both semi-detached and single-detached dwellings) does not impact on the previous methodology for Marshall's Bay Meadows, which was to provide an appropriate mix of dwelling unit types to accommodate market conditions over Official Plan policies.

The proposed Zoning By-law Amendment is consistent with the policy framework set out in the Arnprior Official Plan. The proposed reduction in lot width for single-detached dwellings is permitted by the Official Plan and will provide for an increase in the typologies of residential dwellings that will be available in the final phases of Marshall's Bay Meadows.

## **5.0 Conclusion**

This planning rationale demonstrates that the proposed Zoning By-law Amendment is consistent with the Provincial Planning Statement (2024) and conforms to the policies of the Town of Arnprior Official Plan. The proposed Zoning By-law Amendment will allow for single-detached dwellings that have a smaller overall building footprint and can assist in the affordability of residential units in Marshall's Bay Meadows.

The proposed Zoning By-law Amendment for Phases 5A and 5B of Marshall's Bay Meadows is an appropriate and desirable addition to the community and represents good planning.

Prepared by:

**NOVATECH**

A handwritten signature in black ink, appearing to read 'Adam Thompson', with a stylized flourish at the end.

Adam Thompson, MCIP RPP  
Senior Project Manager | Planning & Development



## **Town of Arnprior Staff Report**

**Subject:** Annual Statement of Development Charges - 2024

**Report Number:** 25-05-26-04

**Report Author and Position Title:** Jennifer Morawiec, General Manager,  
Client Services / Treasurer

**Department:** Client Services

**Meeting Date:** May 26, 2025

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### **Recommendations:**

**That** Council receive report number 25-05-26-04 as information; and

**That** this Annual Statement of Development Charges be made available to the public on the Town of Arnprior website or upon request.

### **Background:**

Development Charges (DCs) are fees collected from new development at the time a building permit is issued. Municipalities use these charges to help pay for the cost of infrastructure required as a result of new development, such as roads, parks, recreation, and fire, as well as water and wastewater. Most municipalities in Ontario use development charges to ensure that the cost of providing infrastructure to service new development is not borne by existing residents and businesses in the form of higher property taxes.

The development charge by-laws and associated development charge rates in place for the January to December 31, 2024 timeframe was established through the 2023 Development Charge Background Study update with a new Development Charge By-Law adopted by Council on March 13, 2023.

Section 43 of the Development Charges Act, S.O. 1997, requires the Treasurer of a municipality to each year provide council a financial statement relating to development charge by-laws and reserve funds established under Section 33. This statement must be made available to the public and may be requested to be forwarded to the Minister of Municipal Affairs and Housing.

O. Reg. 82/98 prescribes the detailed information that must be included in the annual

Treasurer's statement, including but not limited to: opening and closing balances; a description of each service and/or service category for which the reserve fund was established (Appendix A); interest earned and transactions for the year (collections, draws) including each assets capital costs to be funded from the D.C. reserve fund and the manner for funding the capital costs not funded under the D.C. by-law (Appendix B).

Amendments to O. Reg 82/98 under Bill 109 in 2022 now require the following additional information must be provided for each D.C. service being collected for during the year: a) whether, as of the end of the year, the municipality expects to incur the amount of capital costs that were estimated, in the relevant development charge background study, to be incurred during the term of the applicable development charge by-law; b) if the answer to a) is no, the amount the municipality now expects to incur and a statement as to why this amount is expected; and c) if no money was spent from the reserve fund during the year, a statement as to why there was no spending during the year.

## Discussion:

### Annual Financial Summary:

The following table highlights a summary of the development charge reserve fund for the period January 1 to December 31, 2024, and includes DC funds collected, DC receivables, interest earned and disbursements. The DC receivable amount is reflective of DC amounts owing to the municipality from instalment payments for eligible developments under the DCA. A further breakdown of development charges by service category is included in Appendix A: Annual Statement of Development Charges Reserve Fund.

<b>2024 Development Charges Summary</b>		
Opening Balance, January 1, 2024	\$	6,710,409
Development Charges Collected		1,162,408
Development Charges Receivable		-
Investment and Interest Income		213,362
Total		8,086,179
Disbursements		(3,228,614)
Year End Return to Source		(6,598)
Closing Balance, December 31, 2024	\$	<u>4,850,967</u>



## Development Charge Financed Projects:

Disbursements for development charge funded projects included but not limited to: \$770,169 for water/wastewater plant expansion financing, \$75,656 for Quint financing, \$1,039,808 for McNab St sidewalk construction, \$231,066 for MacDonald St reconstruction and \$777,000 for various park development. A detailed listing of all development charge disbursements by project is included in Appendix B: Development Charge Project Activity Report.

## Gross Capital Cost Expectations:

As per O. Reg 82/98, as of the end of the year, a municipality must indicate if they expect to incur the amount of capital costs that were estimated, in the relevant development charge background study, during the term of the applicable development charge by-law. The current development charges by-law was adopted in 2023 along with an updated background study in 2024 to add growth studies, and includes new estimated capital costs for a ten-year period with \$48.5M in planned expenditures and \$27.7M recoverable from development charges (Appendix C).

The Town still expects to incur these capital costs, and they are included in the Town's Long Range Capital Forecast for planning purposes.

## Options:

N/A

## Policy Considerations:

Development Charges Act: A significant number of amendments have been made by the Province to the Development Charges Act including changes under Bill 108, 138, 197, 213 and 109. A summary of these changes are included in the [2023 Development Charges Background Study](#) and have been included in the 2023 Development Charges By-law which came into effect on March 13, 2023.

The Province recently announced Bill 17, *Protect Ontario by Building Faster and Smarter Act, 2025* which proposes amendments to various Acts including the Development Charges Act. A summary letter from Watson & Associates Economists Ltd. is attached which outlines the proposed amendments and the potential impacts on municipalities.

## Financial Considerations:

Requirement to Allocate Funds: Annually, beginning in 2023, municipalities will be required to spend or allocate at least 60% of the monies in a reserve fund at the beginning of the year for water, wastewater, and services related to a highway. Other services may be prescribed by regulation. As growth-related projects are included in the Town's Long Range Capital Forecast, over 88% of the monies in the reserve funds

are allocated to specific projects with a small portion, 12% for provisional items, not yet assigned.

Compliance Statement: The Town of Arnprior is compliant with Section 59.1(1) of the Development Charges Act, whereby charges are not directly or indirectly imposed on development nor has a requirement to construct a service related to development been imposed, except as permitted by the Development Charges Act or another Act.

### **Meeting Dates:**

N/A

### **Consultation:**

N/A

### **Documents:**

Appendix A: 2024 Annual Statement of Development Charges Reserve Fund

Appendix B: 2024 Development Charge Project Activity Report

Appendix C: Estimated Gross Capital Costs (2023-2032)

Watson & Associates Economists Ltd – Assessment of Bill 17 dated 15 May 2025

### **Signatures**

**Reviewed by Department Head:** Jennifer Morawiec

**Reviewed by General Manager, Client Services/Treasurer:** Jennifer Morawiec

**CAO Concurrence:** Robin Paquette

**Workflow Certified by Town Clerk:** Kaila Zamojski

Town of Arnprior  
Appendix A: Treasurer's Statement - Development Charge Reserve Funds  
For the period January 1, 2024 to December 31, 2024

	Services to which the Development Charge Relates								
	Services Related to a Highway	Public Works	Water	Wastewater	Fire	Parks and Recreation	Library Facility / Materials	Growth Studies <sup>2</sup>	Total
Opening Balance, January 1, 2024	\$ (526,592)	\$ 191,138	\$ 2,516,839	\$ 4,711,728	\$ (62,429)	\$ (201,183)	\$ 80,908	\$ -	\$ 6,710,409
<b>Revenues</b>									
Development Charge Collections	213,911	37,430	504,988	300,002	11,576	68,736	9,727	16,039	1,162,409
Development Charge Receivable	-	-	-	-	-	-	-	-	-
Accrued Interest	39,263	6,870	92,691	55,066	2,125	12,617	1,785	2,944	213,361
<b>Sub-Total</b>	<b>\$ 253,174</b>	<b>\$ 44,300</b>	<b>\$ 597,679</b>	<b>\$ 355,068</b>	<b>\$ 13,701</b>	<b>\$ 81,353</b>	<b>\$ 11,512</b>	<b>\$ 18,983</b>	<b>\$ 1,375,770</b>
<b>Expenditures</b>									
Amount Transferred to Capital (or Other) Funds <sup>1</sup>	1,039,808	-	659,735	627,096	93,156	807,819	1,000	-	3,228,614
Prior Commitments (Return to Source)	17,108	-	-	-	-	(10,510)	-	-	6,598
<b>Sub-Total</b>	<b>\$ 1,056,916</b>	<b>\$ -</b>	<b>\$ 659,735</b>	<b>\$ 627,096</b>	<b>\$ 93,156</b>	<b>\$ 797,309</b>	<b>\$ 1,000</b>	<b>\$ -</b>	<b>\$ 3,235,212</b>
<b>Closing Balance, December 31, 2024</b>	<b>\$ (1,330,334)</b>	<b>\$ 235,438</b>	<b>\$ 2,454,783</b>	<b>\$ 4,439,700</b>	<b>\$ (141,884)</b>	<b>\$ (917,139)</b>	<b>\$ 91,420</b>	<b>\$ 18,983</b>	<b>\$ 4,850,967</b>

<sup>1</sup> See Appendix B for details

<sup>2</sup> DC By-Law amended in 2024 to reflect legislative change to allow funding of growth studies.

The Municipality is compliant with s.s. 59.1 (1) of the *Development Charges Act*, whereby charges are not directly or indirectly imposed on development nor has a requirement to construct a service related to development been imposed, except as permitted by the *Development Charges Act* or another Act.

**Town of Arnprior**  
**Appendix B: 2024 Development Charge Project Activity Report**  
**Amount Transferred to Capital (or Other) Funds**  
**For the period January 1 to December 31, 2024**

Service Category	Project Description	D.C. Reserve Fund Draw	Other Reserve / Reserve Fund Draws	Grants / Other Contributions	Total
Services Related to a Highway	Victoria St Design	\$ 23,575	\$ 91,425	\$ -	\$ 115,000
Services Related to a Highway	Sidewalks - McNab Street Construction	1,039,808	115,534	-	1,155,342
Services Related to a Highway	MacDonald St Reconstruction	231,066	2,871,739	1,097,195	4,200,000
Water Services	River Crossing Construction	262,021	604,707	483,272	1,350,000
Water Services	Past Plant Expansion - Loan	374,139	225,592	-	599,731
Wastewater Services	Past Plant Expansion - Loan	396,030	181,971	-	578,001
Fire	Quint Apparatus Loan	75,656	75,656	-	151,312
Fire	Personal Protective Equipment	17,500	-	-	17,500
Parks and Recreation	Fairview Park - Construction	630,000	-	-	630,000
Parks and Recreation	Marshall's Bay Meadows - Phase I Park	112,200	-	-	112,200
Parks and Recreation	CN Trail Park Rehabilitation	34,800	85,200	-	120,000
Parks and Recreation	Waterfront Revitalization - RSP Design	30,819	174,639	-	205,458
Library	Library Materials	1,000	-	-	1,000
<b>TOTAL</b>		<b>\$ 3,228,614</b>	<b>\$ 4,426,463</b>	<b>\$ 1,580,467</b>	<b>\$ 9,235,544</b>

**Town of Arnprior**  
**Appendix C: Estimated Gross Capital Costs**  
**For the period covered by the By-Law 2023-2032**

For the period 2023-2032	Services to which the Development Charge Relates								
	Services Related to a Highway	Public Works	Water	Wastewater	Protection	Parks and Recreation	Library	Growth Studies	Total
<u>Background Study (Table 6-5)</u>									
Funding Source - DC Recoverable	4,913,537	1,294,000	10,804,734	7,067,196	354,300	2,148,400	367,500	765,732	27,715,399
Tax Base or Other Non-DC Source	3,276,448	1,405,000	6,285,318	483,801	651,700	8,023,000	322,500	354,950	20,802,717
<b>Gross Capital Cost Estimates (2023-2032)</b>	<b>\$ 8,189,985</b>	<b>\$ 2,699,000</b>	<b>\$17,090,052</b>	<b>\$ 7,550,997</b>	<b>\$ 1,006,000</b>	<b>\$10,171,400</b>	<b>\$ 690,000</b>	<b>\$ 1,120,682</b>	<b>\$48,518,116</b>
<u>Incurred Capital</u>									
Funding Source - DC Recoverable	1,433,161	-	1,033,874	1,023,126	168,812	1,121,587	-	-	4,780,560
Tax Base or Other Non-DC Source	6,223,800	-	1,539,163	363,942	151,312	1,996,442	-	-	10,274,659
<b>Gross Capital Cost Incurred (2023-2032)</b>	<b>\$ 7,656,961</b>	<b>\$ -</b>	<b>\$ 2,573,037</b>	<b>\$ 1,387,068</b>	<b>\$ 320,124</b>	<b>\$ 3,118,029</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$15,055,219</b>
<u>Assigned to Capital or LRCF</u>									
Allocated to Activity / Project	76%	100%	92%	87%	73%	98%	68%	100%	88%
Unallocated / Provisional	24%	0%	8%	13%	27%	2%	32%	0%	12%



May 15, 2025

To our Municipal Clients:

Re: Assessment of Bill 17 (Protect Ontario by Building Faster and Smarter Act, 2025)

In our continued efforts to keep our clients up to date on legislative changes that may impact them, we are writing to inform you that Bill 17, *Protect Ontario by Building Faster and Smarter Act, 2025* (herein referred to as Bill 17) was tabled in the Ontario Legislature on May 12, 2025. This letter provides a summary of the proposed changes to the *Development Charges Act, 1997* (D.C.A.) and commentary on the proposed changes to the growth management framework. As the Bill progresses through the legislative process, we will continue to advise of any amendments and associated impacts.

Note that the Province is seeking comments via the Environmental Registry of Ontario at the following link: <https://ero.ontario.ca/notice/025-0504>. We will be submitting our comments prior to the deadline of June 12, 2025.

## 1. Overview Commentary

The Province has stated that a goal of this Bill is to simplify and streamline development, while reducing barriers, including development fees. In this regard, the Bill proposes to amend various acts with the intent of building more homes faster in Ontario to address the current housing crisis. In addition to changes to the D.C.A., changes are proposed to the following Acts:

- *Building Code Act, 1992*;
- *Building Transit Faster Act, 2020*;
- *City of Toronto Act, 2006*;
- *Metrolinx Act, 2006*;
- *Ministry of Infrastructure Act, 2011*;
- *Planning Act*; and
- *Transit-oriented Communities Act, 2020*.

In addition to the legislative changes proposed, the Province has announced that they are exploring the use of a public utility model, which may include establishing municipal service corporations for water and wastewater systems. These changes could have significant impacts on the costs and delivery of water and wastewater services in Ontario. While this may serve to reduce the funding obligations from development charges (D.C.s), funding these costs from a broader pool of existing rate payers would likely result in higher water and wastewater rates.



## 2. Proposed Changes to the *Development Charges Act*

The following provides a summary of the proposed changes to the D.C.A., along with commentary on the potential impacts to municipalities.

### 1. Exemption for long-term care homes

- Currently, D.C.s imposed on long-term care homes are subject to annual instalments under section 26.1 of the D.C.A.
- The proposed change would exempt long-term care homes from the payment of D.C.s.
- This exemption would apply to any future D.C. instalments on long-term care home developments.
- The D.C.A. does not allow reductions in D.C.s to be funded by other types of development. As such, the exemption will have to be funded from other municipal revenue sources.

### 2. Definition of capital costs, subject to regulation

- The proposed change would add the words “subject to the regulations” to section 5 (3) of the D.C.A.
  - The proposed amendment expands the scope of the Province’s authority to limit eligible capital costs via regulation.
  - The D.C.A. currently provides this ability to limit the inclusion of land costs.
  - The Province intends to engage with municipalities and the development community to determine potential restrictions on what costs can be recovered through D.C.s.
- Commentary from organizations in the development community suggests these discussions may continue to focus on limiting the inclusion of land costs in the D.C. calculations. The proposed amendment, however, provides broad authority for limiting eligible capital costs (i.e., the scope of regulatory authority is not restricted to land).
- Reductions in D.C.-eligible capital costs will have to be funded from other municipal revenue sources. Changes to the definition of capital costs through regulation will require municipalities to adjust funding for capital projects swiftly without the legislative amendment process.

### 3. Simplified D.C. by-law process to reduce charges

- Proposed change to section 19 (1.1) of the D.C.A. to allow a simplified process to amend a D.C. by-law for the following reasons:
  - Repeal or change a D.C. by-law expiry date (consistent with current provisions);
  - Repeal a D.C. by-law provision for indexing or amend to provide for a D.C. not to be indexed; and



- Decrease the amount of a D.C. for one or more types of development.
- The simplified process includes passing of an amending by-law and providing notice of passing of the amending by-law. There will be no requirement to prepare a D.C. background study, undertake public consultation, and no ability to appeal to the Ontario Land Tribunal.
- Limiting the simplified D.C. by-law amendment process to situations where the amount of a D.C. for a type of development is being reduced would appear to allow municipalities to adjust the charges for changes in assumptions (e.g., reductions in capital cost estimates, application of grant funding to reduce the recoverable amount), adding exemptions for types of development, and phasing the imposition of a D.C.
- It is unclear if the simplified process would apply where exemptions are being provided for purposes other than development type, as specified in the amendment. For example, where a municipality is exempting a geographic area, such as an industrial park, downtown core, major transit station area, etc.
- While administratively expedient, eliminating the statutory public process for reductions in D.C.s will not provide the general public with an opportunity to delegate Council on the matter and will reduce transparency.

#### **4. Deferral of D.C. payment to occupancy for residential development**

- Proposed changes to section 26.1 of the D.C.A. provide that a D.C. payable for residential development (other than rental housing developments, which are subject to payment in instalments) would be payable upon the earlier of the issuance of an occupancy permit, or the day the building is first occupied.
- Only under circumstances prescribed in the regulations may the municipality require a financial security.
  - The Province has noted its intent to mitigate risk for municipalities. As such, the prescribed circumstances may allow for securities when no occupancy permit is required.
- Municipalities will not be allowed to impose interest on the deferral of D.C. payment to occupancy.
- It appears those municipalities that have elected to utilize subsection 26 (2) of the Act (i.e., water, wastewater, services related to a highway, and stormwater charges payable at the time of subdivision agreement) may no longer be able to utilize this section for residential subdivisions or consents.
- Deferring the timing of payment for all residential development to occupancy will have cashflow implications for municipalities. The impacts may include additional financing costs for capital projects, increased



administrative costs associated with administering securities and occupancies, and potential delays in capital project timing.

## **5. Removal of interest for legislated instalments**

- Proposed changes to section 26.1 of the Act would remove the ability to charge interest on instalments for rental housing and institutional development.
- This would also apply to future instalments for existing deferrals once Bill 17 receives Royal Assent.
- The repeal of subsection 26.1 (9) of the D.C.A. removes the municipality's ability to require immediate payment of all outstanding instalments when a development use changes from rental housing or institutional to another use.
- This proposed amendment has the same cashflow impacts for municipalities as noted in item 4 above, although it is more limited in scope.

## **6. Ability for residential and institutional development to pay a D.C. earlier than a by-law requires**

- Currently, if a person wishes to waive the requirement to pay their D.C. in instalments as per section 26.1, an agreement under section 27 of the D.C.A. (early payment agreement) is required.
- The proposed changes state that, "For greater certainty, a person required to pay a development charge under this section may pay the charge before the day it is payable even in the absence of an agreement under section 27."
- This wording achieves its intent to allow a person to waive the requirement to pay in instalments. It also appears, however, to allow residential and institutional D.C.s to be paid earlier than required in a D.C. by-law, absent municipal agreement.
- This is problematic for municipalities, as the development community may elect to pay D.C.s before indexing or before municipalities pass a new D.C. by-law where a publicly available D.C. background study may be indicating a potential increase in the charges.

## **7. Lower charge for rate freeze**

- Section 26.2 of the D.C.A. requires that, for developments proceeding through a site plan or zoning by-law amendment application, the D.C. be determined based on the rates that were in effect when the planning application was submitted to the municipality.
- In some instances, the D.C. that would be imposed at the time of building permit issuance may be lower than that in place at the time of planning application.



- Where rates have been frozen as per section 26.2 of the D.C.A., the proposed amendments would require municipalities to apply either the “frozen” or the current rate, whichever is lower, in such instances.
  - Note, interest charges for the D.C. determined at planning application may still be imposed.
- These proposed changes are positive as developers would not be charged in excess of current rates (where lower) and developers who proceed in a timely manner are not penalized with additional interest costs.

## **8. Grouping of services for the purposes of using credits**

- Section 38 of the D.C.A. allows a person to construct growth-related works on a municipality’s behalf, subject to an agreement. The person receives a credit against future D.C.s payable for the service(s) to which the growth-related works relate.
- A municipality can agree to allow the credits to be applied to other services in the D.C. by-law.
- The proposed amendments would allow the Province to, through regulation, deem two or more services to be one service for the purpose of applying credits.
- This proposed change appears to remove the municipality’s discretion to combine services by agreement in certain instances.
- Combining services for the purposes of credits would have cashflow implications for municipalities, where funds held in a reserve fund for a service not included under the section 38 agreement would be reduced. This could delay the timing of capital projects for these impacted services and/or increase financing costs.

## **9. Defining local services in the regulations**

- Section 59 of the D.C.A. delineates between charges for local services and, by extension, those that would be considered in a D.C. by-law.
- Municipalities typically establish a local service policy when preparing a D.C. background study to establish which capital works will be funded by the developer as a condition of approval under section 51 or section 53 of the *Planning Act* (i.e., local service) and which will be funded by the D.C. by-law.
- The proposed amendments would allow the Province to make regulations to determine what constitutes a local service.
  - Although the Province has noted that this will be defined through consultations, there may be unintended impacts. For example, if the definition of a local service is too broad, it may lower the D.C. but increase the direct funding requirements on one particular developer. If the definition is too narrow, the opposite would result,





whereby local services would be broadly included in D.C. funding, thereby increasing D.C. rates.

- Additionally, what is deemed a local service in one municipality may vary from what is deemed a local service in another, depending on the size, density, and types of development.

Most of the changes above would come into effect upon Royal Assent of Bill 17. The changes with respect to deferral of payment to occupancy for residential development would come into effect upon the date proclaimed by the Lieutenant Governor in Council.

### 3. Noted Areas for Future Changes to Development Charges

In the Province's announcement, they indicated additional changes that are anticipated to follow proposed regulatory changes and/or ongoing consultations.

The Province has indicated the intent to add the Statistics Canada Non-Residential Building Construction Price Index for London to the prescribed indexes in the regulations. This would allow municipalities west of London and those that are closer to London than Toronto, to utilize the London series for indexing purposes.

The Province also indicated the intent to consult on a potential standardization of the approaches to benefit to existing deductions. Currently there are best practices to follow, however, there is no standardized approach across all municipalities. Providing a standardized approach may be problematic, as capital projects in different municipalities may be unique in scope and capital cost requirements.

Lastly, the announcement included commentary on expanding the Annual Treasurer's Statement reporting requirements. Currently for services related to a highway, water, and wastewater services, municipalities must allocate 60% of monies in their D.C. reserve funds to projects. The Province may consider expanding this requirement to more services.

### 4. Proposed Changes to the Growth Management Framework

The Ministry of Municipal Affairs and Housing (MMAH) has been reviewing the Official Plans of Ontario's 50 largest and fastest-growing municipalities against the Ministry of Finance's (M.O.F.) updated population forecasts released in October 2024. Where the Ministry finds that current Official Plan forecasts are lower than updated provincial or upper-tier projections, the MMAH will undertake targeted outreach to affected municipalities. In these cases, municipalities will be required to update their Official Plans to reflect the higher of the M.O.F. projection or the applicable upper-tier forecast.

These updates will be guided by a forthcoming revision to the Projection Methodology Guideline – the first since 1995 – to ensure consistency in how growth is planned across the Province. It is the MMAH's goal that these updated projections and methods



will help municipalities more accurately align land needs, servicing strategies, and capital planning with long-term provincial growth priorities. To support this, the Province is also exploring improvements to planning data systems and digital tools, including standardizing how municipalities track and report land use planning and permitting activity. Enhanced access to consistent, digitized data will help inform future forecasting, monitor implementation, and increase transparency across jurisdictions.

For municipalities directed by the Province to update their Official Plans, this requirement carries several implications. As a starting point, it is important to note that the M.O.F. forecasts are only available at the Census Division level, which typically represents upper-tier municipalities, including separated municipalities and large urban single-tier municipalities. This poses potential complexities for lower-tier municipalities to directly apply, allocate, and coordinate the M.O.F. population projections as part of their respective Official Plan Review. Furthermore, the M.O.F. population projections are released annually and are subject to considerable fluctuation. On the other hand, the municipal Official Plan Review process, which includes a comprehensive assessment of long-term population growth and urban land needs, is required to be carried out at a minimum every 10 years for new Official Plans and five years regarding Official Plan updates. Accordingly, it will be important for municipalities to monitor their respective Official Plans within the context of changing long-term M.O.F. projections. It is currently unclear to what extent Ontario municipalities will be required to update their respective Official Plans and associated background studies, such as needs assessments, servicing plans, and financial strategies, to ensure alignment with the updated M.O.F. projections. It is clear, however, that Ontario municipalities will require improved processes and tools to monitor their Official Plans in a manner that allows decision makers more flexibility to address and respond to anticipated change.

In parallel, the Province is also proposing changes to inclusionary zoning policies, which could influence housing delivery outcomes within protected major transit station areas. Specifically, the Act proposes capping the affordable housing set-aside rate at 5% and limiting the affordability period to 25 years. While these measures may enhance project feasibility and encourage more market-based residential development near transit, they may also constrain the long-term supply and stability of affordable units delivered through inclusionary zoning policies. Municipalities will need to consider how these changes affect their broader housing strategies, particularly in areas where protected major transit station areas are a central tool for delivering mixed-income communities.

## 5. Concluding Remarks

Based on the proposed changes, municipalities may experience a reduction in overall D.C. revenue. The impacts of some of the potentially more significant changes (i.e., changes to the definition of capital cost, grouping of credits, defining local services, and methodology for benefit to existing will not be known until the release of the draft regulations for consultation. By moving legislative guidance to the regulations, as



opposed to the Act itself, the Province will have the ability to change the rules set out therein without the requirement of passing a Bill through the legislative process. This reduces transparency and the required consultation should the Province wish to change these rules in the future.

We will continue to monitor the proposed changes and will inform you of potential impacts to municipalities. As noted, we will be submitting further comments to the Province via the Environmental Registry of Ontario. Should you have any questions, please contact the undersigned or send an email to [info@watsonecon.ca](mailto:info@watsonecon.ca).

Yours very truly,

WATSON & ASSOCIATES ECONOMISTS LTD.

Andrew Grunda, MBA, CPA, CMA, CEO

Peter Simcisko, BA (Hons), MBE, Managing Partner

Sean-Michael Stephen, MBA, Managing Partner

Daryl Abbs, BA (Hons), MBE, PLE, Managing Partner

Jamie Cook, MCIP, RPP, PLE, Managing Partner

Jack Ammendolia, BES, PLE, Managing Partner



## **Town of Arnprior Staff Report**

**Subject:** Budget Matters – Expenses: Ontario Regulation 284/09

**Report Number:** 25-05-26-05

**Report Author and Position Title:** Jennifer Morawiec, GM Client Services / Treasurer

**Department:** Client Services

**Meeting Date:** May 26, 2025

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### **Recommendations:**

That Council adopt this report by resolution as required under the Municipal Act, 2001, Ontario Regulation 284/09.

### **Background:**

Municipalities are required to prepare annual Financial Statements in accordance with generally accepted accounting principles for local governments as recommended by the Public Sector Accounting Board (PSAB) of the Canadian Institute of Chartered Accountants (CICA). These accounting principles include accounting for post-employment benefits expenses, solid waste landfill closure and post-closure expenses, and amortization expenses (related to tangible capital assets). The PSAB accounting standards adopted for municipalities, however, do not require that annual budgets be prepared on the same basis.

Ontario Regulation 284/09 permits municipalities to exclude a portion or all of the following expenses from their annual budgets:

- Post-employment benefits expenses,
- Solid waste landfill closure and post-closure expenses, and
- Amortization expenses (related to tangible capital assets).

However, the legislation requires staff to prepare an annual report to Council which identifies the expenses that have been included in the PSAB Financial Statements but excluded from the budget, identifies the impact of these differences on the change in the municipality's accumulated surplus, and analyzes the impact of excluding these expenses from the budget on future capital assets funding requirements.

### **Discussion:**

As permitted under Regulation 284/09 in preparing the budget for a year, a municipality may

exclude from the estimated expenses all or a portion of the following:

- Post-employment benefits expenses,
- Solid waste landfill closure and post-closure expenses, and
- Amortization expenses (related to tangible capital assets).

These expenses were not included in the Town's operating budget for 2025. The Town, like most municipalities, continues to prepare budgets on the traditional funding basis where revenue and expenditures for operating and capital budgets are balanced.

### **Impact of Excluded Expenses on 2025 Budgeted Accumulated Surplus**

Accordingly, on a funding basis, there is no projected impact to the Town's projected accumulated surplus (Contribution to Reserves less Capital Investments) from the 2025 Budget. Regulation 284/09 requires a municipality to identify the impact of the 2025 budget on the Town's accumulated surplus after converting the 2025 budget and assumptions to the full accrual basis of accounting (PSAB).

The equity of a municipality is defined as accumulated surplus. The accumulated surplus consists mainly of:

- Operating Fund Surpluses including local boards
- Equity in Tangible Capital Assets
- Reserves and Reserve Funds
- Less Unfunded Liabilities such as Employee Future Benefits and Landfill Sites ARO Liability

The result PSAB financial reporting requirements are that the Town's surplus for budgeting purposes differs from the surplus on the Town's financial statements. The estimated effect on the 2025 ending surplus due to the excluded expenses and change to PSAB reporting is anticipated to be a net impact of \$11,836,670 summarized as follows:

Estimate Impact on 2025 Accumulated Surplus	
Post-employment benefits expense	-
Amortization of tangible capital assets	(\$4,844,819)
ARO Accretion Expense	(\$45,267)
Acquisition of tangible capital assets	\$16,182,632
Estimate net increase (accumulated surplus)	\$11,295,546

The changes to accounting and reporting requirements under PSAB are a financial accounting treatment only and do not affect operating surpluses. This difference is one of financial statement presentation.

Explanations of the impacts to the accumulated surplus are outlined below:

#### **a) Employee Future Benefits/Post-Employment Benefits Expenses**

The Town currently does not have any Employee future benefit / post-employment benefit expenses where the benefits are earned by employees in the current period but not paid for

by taxes or rates until a future period. Benefits for retirees are paid for by the retiree, not the Town. These could include items such as sick leave benefit plans, long-term disability plans, Workplace Safety and Insurance Act (WSIB) benefits and post-retirement plans.

The Town participates in the Ontario Municipal Employees Retirement System (OMERS), a multi-employer public sector pension fund, as a defined contribution plan. As a result, the Town does not recognize any share of the OMERS pension surplus or deficit.

#### b) Solid Waste Landfill Closure and Post Closure Expenses

The new Canadian public sector accounting standard PS3280 Asset Retirement Obligations addresses the reporting of legal obligations associated with the retirement of certain tangible capital assets. The new accounting standard has resulted in a withdrawal of the existing accounting standard PS 3270 Solid Waste Landfill Closure and Post-Closure Liability. Under the 2023 financial statements, the Town removed the landfill obligation that had been recognized to date and recognized an asset retirement obligation upon adoption of PS 3280. The liability represents the required closure and post-closure care costs for the landfill site owned by the Town.

The liability for closure of operational sites and post-closure care relating to landfill sites is recognized based on estimated future expenses. The liability is discounted using a present value calculation and adjusted annually for accretion expense.

As at December 31, 2025, the estimated liability for landfill asset retirement obligation will be approximately \$1,507,781. The impact (change) of the Landfill asset retirement obligation liability is an estimated annual accretion expense of \$45,267 in 2025 and is a decrease to the accumulated surplus.

The Town does maintain an annual contribution to the Landfill Reserve in the operating budget (\$46,950 in 2025) to address the annual increase in the Landfill ARO liability and to ensure that sufficient funding will be available to discharge this liability over the remaining life of the landfill site. The Landfill Reserve Fund has an estimated 2025 balance of \$2,337,934.

#### c) Amortization Expense to Tangible Capital Assets

Annual financial statements include amortization expenses on tangible capital assets as required by PSAB standards. Amortization expense for 2025 is estimated at \$4,844,819 based on current tangible capital assets and planned capital investments. There is a significant increase in amortization expense for 2025 due to the large increase in assumed development assets (i.e. new subdivision infrastructure) in 2024.

Although the Town's 2025 operating budget does not include amortization expenses on tangible capital assets, the Town actively plans for and forecasts future funding requirements for capital asset replacement through the 20 Year Long Range Capital Forecast, Asset Management Plan and various Master Plans.

2025 estimated tangible capital asset acquisitions are a combination of asset replacements and additions. These capital assets are funded through a combination of reserves, financing, development charges and government grants. The operating budget also includes the financing (debt principal repayment) of \$1.3M for prior capital investments.

Overall, while the estimated 2025 amortization expense of \$4.8M will reduce the Town's accumulated surplus, the planned investment in tangible capital assets of \$16.1M will offset



this impact and will result in a net increase to accumulated municipal equity.

**Options:**

N/A

**Policy Considerations:**

This report has been completed in accordance with the Town's Strategic Plan priority for financial sustainability and management of our resources to ensure long-term stability and prosperity.

**Financial Considerations:**

As outlined in the report above.

**Meeting Dates:**

N/A

**Consultation:**

N/A

**Documents:**

N/A

**Signatures**

**Reviewed by Department Head:** Jennifer Morawiec

**Reviewed by General Manager, Client Services/Treasurer:** Jennifer Morawiec

**CAO Concurrence:** Robin Paquette

**Workflow Certified by Town Clerk:** Kaila Zamojski



## Town of Arnprior Staff Report

**Subject:** Proclamation for Pride Month (June 2025)

**Report Number:** 25-05-26-06

**Report Author and Position Title:** Kaitlyn Wendland, Deputy Clerk

**Department:** Client Services

**Meeting Date:** May 26<sup>th</sup>, 2025

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### Recommendations:

**That** Council proclaim June 2025 as Pride Month in the Town of Arnprior.

### Background:

#### Assessment of the Proclamation Request from the Town of Arnprior Proclamations Policy No. ADMIN-C-2.05

Section 5.1 – Charitable or Non-Profit Organization	Yes
Section 5.2 – Request received two (2) weeks prior to event	Yes
Section 5.2.1 – Name and Address of Organization	Pflag Canada – Arnprior Chapter <a href="https://www.pflagrenfrewcounty.ca/">https://www.pflagrenfrewcounty.ca/</a>
Section 5.2.2 – Contact Person's Name	Sophie Smith-Dore 1-888-530-6777 ext. 591 <a href="mailto:arnprioron@pflagcanada.ca">arnprioron@pflagcanada.ca</a>
Section 5.2.3 – Name of Proclamation and Duration	Pride Month June 2025

**Assessment of the Proclamation Request from the Town of Arnprior  
Proclamations Policy No. ADMIN-C-2.05**

Section 5.2.4 – Appropriate Wording for Proclamation	Yes
Section 5.2.5 – Request Flag to be flown/ flag raising ceremony	Yes (between June 6 <sup>th</sup> to 13 <sup>th</sup> , 2025)
Section 5.3.1 – Does not promote any commercial business	Complies
Section 5.3.2 – Does not promote hatred or illegal activity	Complies
Section 5.3.3 – Does not contain inappropriate statements	Complies

**Documents:**

1. Proclamation Document – Pride Month (June 2025)

**Signatures**

**Reviewed by Department Head:** Jennifer Morawiec

**Reviewed by General Manager, Client Services/Treasurer:** Jennifer Morawiec

**CAO Concurrence:** Robin Paquette

**Workflow Certified by Town Clerk:** Kaila Zamojski



## Town of Arnprior Proclamation

# Pride Month

## June 2025

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**Whereas** June is recognized in Canada as Pride Month, a time to celebrate the contributions of persons from the 2SLGBTQ+ community, and increase efforts to build awareness; and,

**Whereas** the Progress Pride flag is an important symbol of hope and acceptance for 2SLGBTQ+ youth and adults who continue to face stigma, discrimination, isolation and bullying in their home, workplaces and community spaces, simply for being who they are; and,

**Whereas** this stigma and discrimination puts 2SLGBTQ+ individuals at elevated risk of mental-health issues, substance abuse, homelessness and suicide; and,

**Whereas** the Town of Arnprior acknowledges and celebrates the contributions of the 2SLGBTQ+ community to the social, cultural and economic wellbeing of all Ontarians; and,

**Whereas** during Pride Month, we can all reflect on the progress made to recognize and protect the rights of 2SLGBTQ+ communities, and the work that still needs to be done; and,

**Whereas** flying the rainbow flag at Town Hall during the second week of June 2025 symbolizes the Town's celebration of diversity and support for the 2SLGBTQ+ community.

**Now Therefore**, I, Lisa McGee, Mayor of Arnprior, do hereby proclaim June 2025 as Pride Month in the Town of Arnprior and encourage all citizens to think about what steps we can collectively take to make our community a safe and inclusive place for all, regardless of sexual orientation, gender identity or gender expression.

**Lisa McGee, Mayor  
Town of Arnprior**



## Town of Arnprior Staff Report

**Subject:** Proclamation for Parks and Recreation Month (June 2025)

**Report Number:** 25-05-26-07

**Report Author and Position Title:** Kaitlyn Wendland, Deputy Clerk

**Department:** Client Services

**Meeting Date:** May 26<sup>th</sup>, 2025

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### Recommendations:

That Council proclaim June 2025 as Parks and Recreation Month in the Town of Arnprior.

### Background:

#### Assessment of the Proclamation Request from the Town of Arnprior Proclamations Policy No. ADMIN-C-2.05

Section 5.1 – Charitable or Non-Profit Organization	Yes
Section 5.2 – Request received two (2) weeks prior to the event	Yes
Section 5.2.1 – Name and Address of Organization	Town of Arnprior 77 James Street Arnprior, ON K7S 1C9
Section 5.2.2 – Contact Person's Name	Lucas Power, Program & Events Coordinator <a href="mailto:lpower@arnprior.ca">lpower@arnprior.ca</a>
Section 5.2.3 – Name of Proclamation and Duration	Parks and Recreation Month June 2025
Section 5.2.4 – Appropriate Wording for Proclamation	Yes

**Assessment of the Proclamation Request from the Town of Arnprior  
Proclamations Policy No. ADMIN-C-2.05**

Section 5.2.5 – Request Flag to be flown/ flag raising ceremony	No
Section 5.3.1 – Does not promote any commercial business	Complies
Section 5.3.2 – Does not promote hatred or illegal activity	Complies
Section 5.3.3 – Does not contain inappropriate statements	Complies

**Documents:**

1. Proclamation Document – Parks and Recreation Month (June 2025)

**Signatures**

**Reviewed by Department Head:**

**Reviewed by General Manager, Client Services/Treasurer:** Jennifer Morawiec

**CAO Concurrence:** Robin Paquette

**Workflow Certified by Town Clerk:** Kaila Zamojski





## Town of Arnprior Proclamation Parks and Recreation Month June 2025

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**Whereas**, in the Town of Arnprior, we are fortunate to have a variety of recreation and parks systems providing countless recreational opportunities for residents and visitors from around the world; and

**Whereas** recreation enhances quality of life, balanced living and lifelong learning; helps people live happier and longer; develops skills and positive self-image in children and youth; develops creativity; and builds healthy bodies and positive lifestyles; and

**Whereas** recreational participation builds family unity and social capital; strengthens volunteer and community development; enhances social interaction; creates community pride and vitality; and promotes sensitivity and understanding to cultural diversity; and

**Whereas** parks, open space and trails provide active and passive outdoor recreation opportunities, help maintain clean air and water; and promotes stewardship of the natural environment; and

**Whereas** recreation, therapeutic recreation and leisure education are essential to the rehabilitation of individuals who have become ill or disabled, or disadvantaged, or who have demonstrated anti-social behavior; and

**Whereas** the benefits provided by recreation programs, services and parks, and open space, reduce healthcare and social service costs; serve to boost the economy, economic renewal and sustainability; enhance property values; attract new business; increase tourism; and curb employee absenteeism; and

**Whereas** the Town of Arnprior will have a variety of programming and community events sponsored by ParticipACTION's Community Better Challenge; and

**Whereas** the Town will be hosting 2025 Priorpalooza Festival and the School's Out Beach Party. These events will provide a wide range of activities accessible to everyone in our community.

**Now Therefore**, I, Lisa McGee, Mayor of Arnprior, do hereby proclaim June 2025 as Parks and Recreation Month in the Town of Arnprior and encourage all citizens to recognize the benefits and values of Recreation and Parks in Arnprior and participate in the many activities taking place this month and throughout the year.

**Lisa McGee, Mayor**  
**Town of Arnprior**



## Town of Arnprior Staff Report

**Subject:** Proclamation for Seniors Month (June 2025)

**Report Number:** 25-05-26-08

**Report Author and Position Title:** Kaitlyn Wendland, Deputy Clerk

**Department:** Client Services

**Meeting Date:** May 26<sup>th</sup>, 2025

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### Recommendations:

That Council proclaim June 2025 as Seniors Month in the Town of Arnprior.

### Background:

#### Assessment of the Proclamation Request from the Town of Arnprior Proclamations Policy No. ADMIN-C-2.05

Section 5.1 – Charitable or Non-Profit Organization	Yes
Section 5.2 – Request received two (2) weeks prior to the event	Yes
Section 5.2.1 – Name and Address of Organization	Ministry for Seniors and Accessibility 777 Bay Street, College Park – 5th Floor Toronto, ON M7A 1S5
Section 5.2.2 – Contact Person's Name	Ministry for Seniors and Accessibility
Section 5.2.3 – Name of Proclamation and Duration	Seniors Month June 2025
Section 5.2.4 – Appropriate Wording for Proclamation	Yes

**Assessment of the Proclamation Request from the Town of Arnprior  
Proclamations Policy No. ADMIN-C-2.05**

Section 5.2.5 – Request Flag to be flown/ flag raising ceremony	No
Section 5.3.1 – Does not promote any commercial business	Complies
Section 5.3.2 – Does not promote hatred or illegal activity	Complies
Section 5.3.3 – Does not contain inappropriate statements	Complies

**Documents:**

1. Proclamation Document – Seniors Month (June 2025)

**Signatures**

**Reviewed by Department Head:** Jennifer Morawiec

**Reviewed by General Manager, Client Services/Treasurer:** Jennifer Morawiec

**CAO Concurrence:** Robin Paquette

**Workflow Certified by Town Clerk:** Kaila Zamojski



## Town of Arnprior Proclamation

### Seniors Month

# June 2025

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**Whereas** Seniors Month is an annual province-wide celebration to recognize the considerable contributions that seniors have made to the life and vibrancy of our community; and,

**Whereas** seniors continue to serve as leaders, mentors, volunteers and important and active members of this community; and,

**Whereas** their contributions past and present warrant appreciation and recognition and their stories deserve to be told; and,

**Whereas** the health and well-being of seniors is in the interest of all and further adds to the health and well-being of the community as a whole; and,

**Whereas** seniors are the fastest growing population segment across Canada and a significant number of Arnprior seniors are leading healthy and active lives; and,

**Whereas** the Town of Arnprior's Recreation Department, the Seniors Active Living Centre (SALC), and many community groups throughout the Town provide regular age-friendly programming for local seniors.

**Now Therefore**, I, Lisa McGee, Mayor of Arnprior, do hereby proclaim June 2025 as Seniors Month in the Town of Arnprior and encourage all citizens to recognize and celebrate the accomplishments of our seniors.

**Lisa McGee, Mayor**  
**Town of Arnprior**

# The Corporation of the Town of Arnprior

## By-law Number 7594-25

A by-law to amend By-law Number 6875-18 of the Corporation of the Town of Arnprior, as amended.

**Pursuant** to Section 34 of the Planning Act, 1990, the Council of the Town of Arnprior enacts as follow:

**1. That** By-law number 6875-18, as amended, is hereby further amended as follows:

a. Schedule "A" is amended by re-zoning those lands legally described as McNab Concession C, Part of Lot 3, Part 1 on Registered Plan 49R-19701, Arnprior Ontario, from "Mixed-Use Residential/Commercial Exception 26 (MU-CE\*26)" to "Mixed-Use Residential/Commercial Exception 49 (MU-CE\*49)" as shown on the attached Schedule "A", and,

b. By adding exception 49 to "Table 10.1: Exceptions" to read as follows:

Exception Number	Base Zone	Permitted uses	Special Rules and/or Provisions that apply that are different than in the Base Zone
49	MU-CE	All uses permitted in the MU-CE zone	Setback to watercourse for a retaining wall and parking area: 4.86 m Maximum height - apartment building: 16.8 m Minimum required visitors parking: 0.20 spaces per apartment dwelling unit Permit balconies as a permitted encroachment into the minimum required front yard where they may encroach by no more than 1.25 m into the required front yard

**2. That** this By-law shall come into full force and effect on the day of its adoption.

**Passed** in open Council this 26<sup>th</sup> day of May 2025.

Signatures:

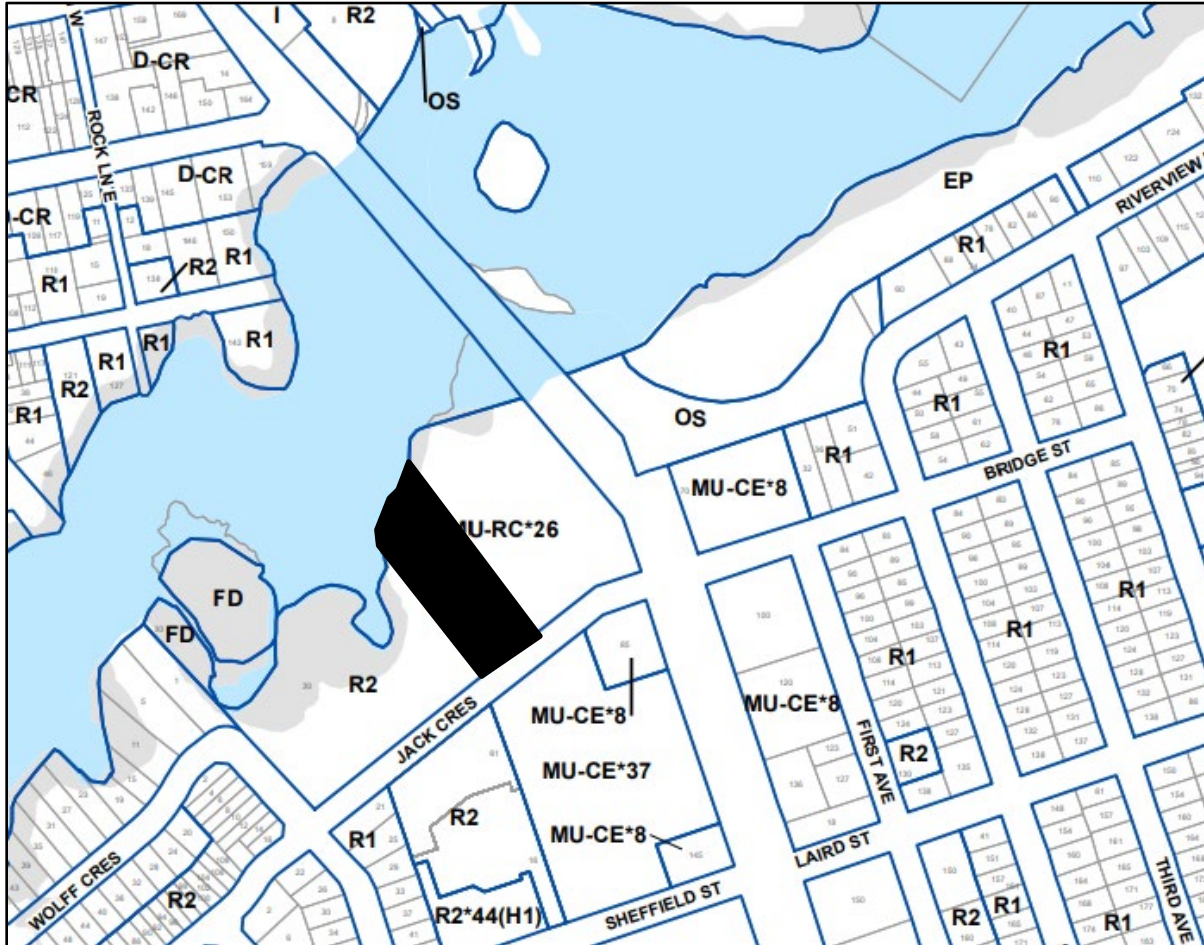
\_\_\_\_\_  
Lisa McGee, Mayor

\_\_\_\_\_  
Kaila Zamojski, Clerk

This by-law is deemed to be adopted on \_\_\_\_\_, 2025

## Schedule "A"

From "MU-RC\*26" to "MU-CE\*49"



This is Schedule "A" to By-law Number 7594-25

**Passed** in open Council this 26<sup>th</sup> day of May 2025.

Signatures:

\_\_\_\_\_  
Lisa McGee, Mayor

\_\_\_\_\_  
Kaila Zamojski, Clerk

This by-law is deemed to be adopted on \_\_\_\_\_, 2025



# The Corporation of the Town of Arnprior

## By-law Number 7595-25

A by-law to amend By-law Number 6875-18 of the Corporation of the Town of Arnprior, as amended.

**Pursuant** to Section 34 of the Planning Act, 1990, the Council of the Town of Arnprior enacts as follow:

1. **That** By-law number 6875-18, as amended, is hereby further amended as follows:
  - a. Schedule “A” is amended by re-zoning a portion of those lands legally described as McNab Concession C, Part of Lot 1; Concession D Part of Lot 1; Part Road Allowance, Registered Plan 49R-19293 Part of Part 1, Arnprior Ontario, from “Residential Three (R3)” and “Residential Three Exception 41 (R3\*41)” to “Residential Three Exception 48 (R3\*48)” as shown on the attached Schedule “A”, and,
  - b. By adding exception 48 to “Table 10.1: Exceptions” to read as follows:

Exception Number	Base Zone	Permitted uses	Special Rules and/or Provisions that apply that are different than in the Base Zone
48	R3	All uses permitted in the R3 zone	Minimum lot frontage – Single-detached dwelling: 10.0 meters

2. **That** this By-law shall come into full force and effect on the day of its adoption.

**Passed** in open Council this 26<sup>th</sup> day of May 2025.

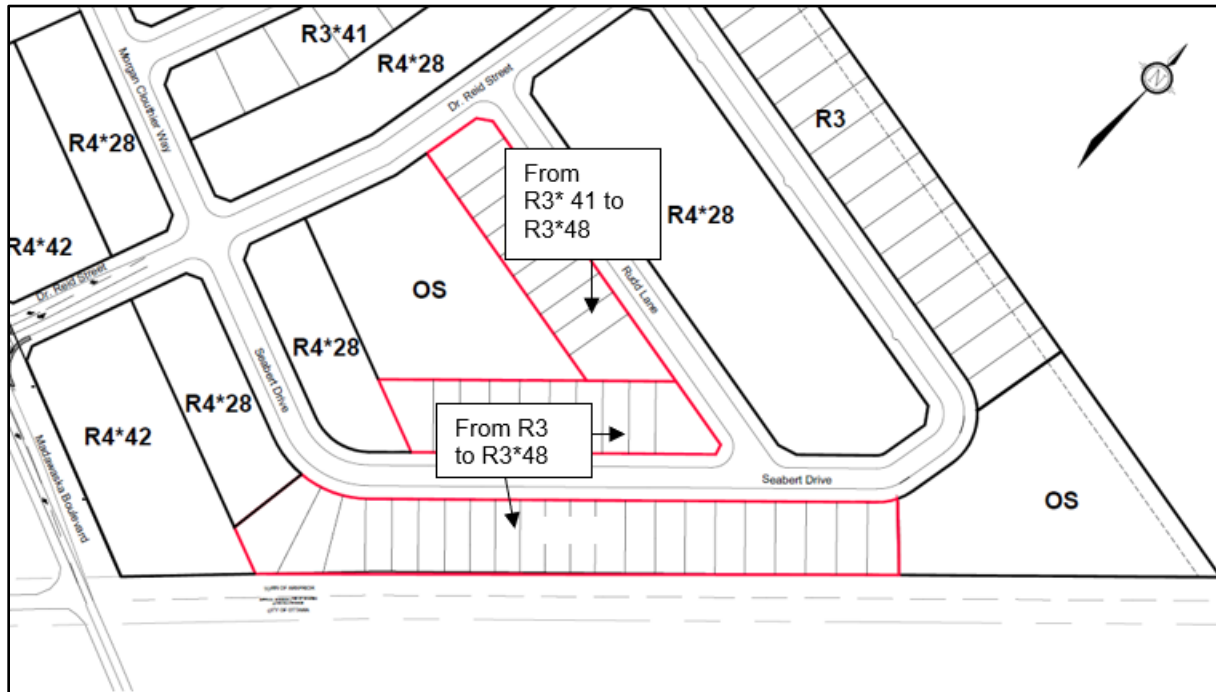
Signatures:

\_\_\_\_\_  
Lisa McGee, Mayor

\_\_\_\_\_  
Kaila Zamojski, Clerk

This by-law is deemed to be adopted on \_\_\_\_\_, 2025

## Schedule "A"



This is Schedule "A" to By-law Number 7595-25

**Passed** in open Council this 26<sup>th</sup> day of May 2025.

Signatures:

\_\_\_\_\_  
Lisa McGee, Mayor

\_\_\_\_\_  
Kaila Zamojski, Clerk

This by-law is deemed to be adopted on \_\_\_\_\_, 2025

# **The Corporation of the Town of Arnprior**

## **By-law Number 7596-25**

A by-law to remove a holding symbol by amending By-law Number 6875-18 of the Corporation of the Town of Arnprior, as amended.

**Whereas** the Council of a municipality may under Section 35 of the Planning Act, in a by-law passed under Section 34, by the use of the holding symbol in conjunction with any use designation, specify the use to which lands, buildings or structures may be put at such time in the future as the holding symbol is removed by amendment to the by-law; and

**Whereas** the Council of the Town of Arnprior enacted By-law 7097-20 placing lands, legally described as Blocks 2 to 5 and Blocks 6 to 10, Plan 49M-119, in the "Residential 4 Exception 33 Holding Symbol 12 zone (R4\*33(H12))" which prohibited buildings or structures to be constructed on the lands until such time as an appropriate development agreement had been entered into for the subject lands; and

**Whereas** the municipality has now entered into a Subdivision Agreement with the owner;

**Therefore** the Council of the Town of Arnprior enacts as follows:

1. **That** By-law number 6875-18, as amended, is hereby further amended as follows:
  - a) **That** Schedule "A" is hereby amended by removing the Holding Symbol 12 (H12) from lands legally described as Blocks 2 to 5 and 7 to 10, Plan 49M-119, identified on Schedule "A" attached hereto.
2. **That** this By-law shall come into full force and effect on the day of its adoption.

**Passed** in open Council this 26<sup>th</sup> day of May 2025.

Signatures:

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Lisa McGee, Mayor

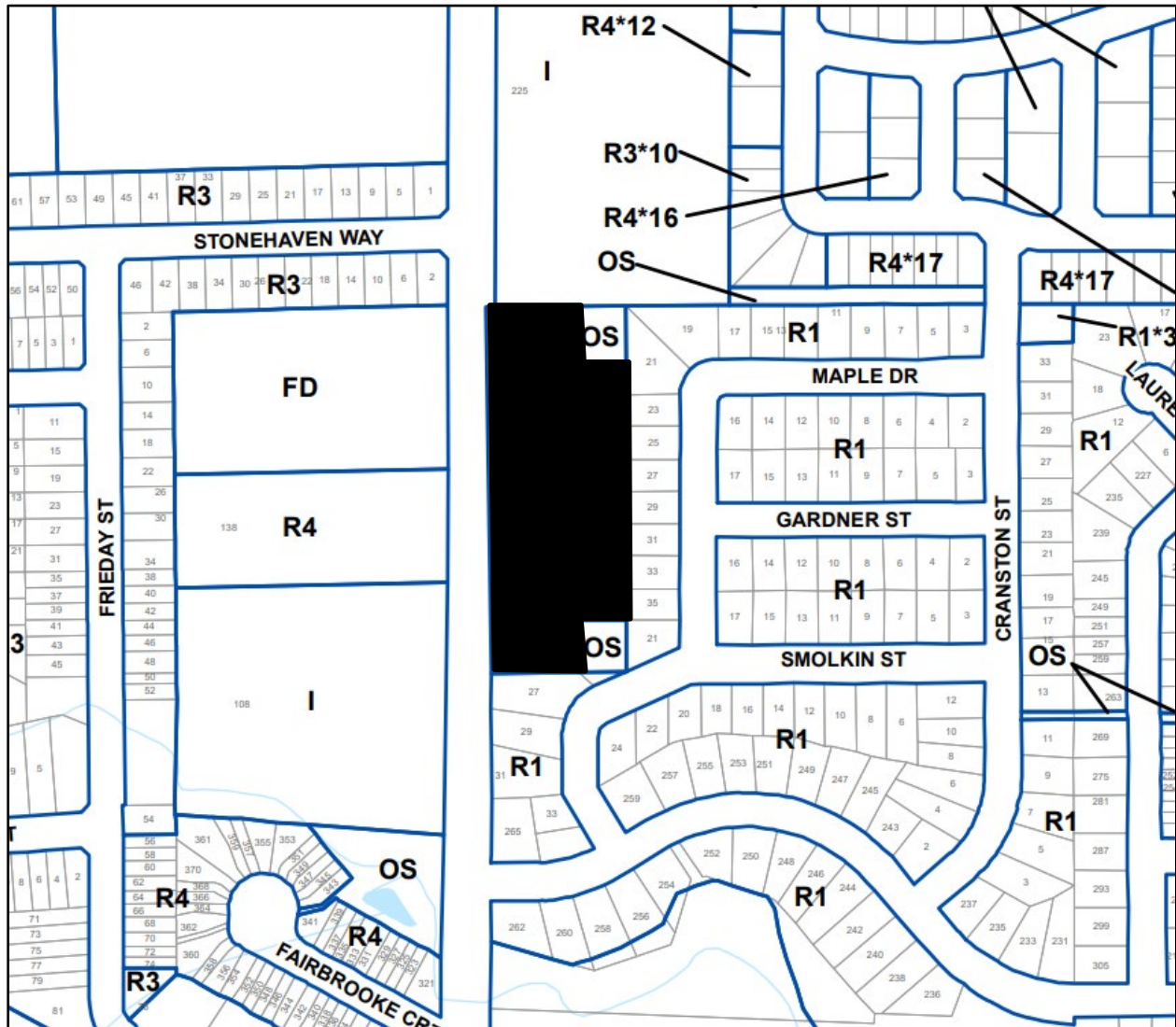
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Kaila Zamojski, Clerk

This by-law is deemed to be adopted on \_\_\_\_\_, 2025

## Schedule “A”

From “R4\*33(H12)” To “R4\*33”



Schedule “A” to By-law Number 7596-25

**Passed** in open Council this 26<sup>th</sup> day of May 2025.

Signatures:

\_\_\_\_\_  
Lisa McGee, Mayor

\_\_\_\_\_  
Kaila Zamojski, Clerk

This by-law is deemed to be adopted on \_\_\_\_\_, 2025

# **The Corporation of the Town of Arnprior**

## **By-law Number 7597-25**

Being a by-law amend By-law No. 7467-24, to appoint new Members to the Town of Arnprior's Advisory Committees for the remainder of the 2022-2026 Term of Council.

**Whereas** Section 8 of the *Municipal Act, 2001, S.O. 2001, c. 25*, as amended, provides that a municipality has the capacity, rights, powers and privileges of a natural person for the purpose of exercising its authority under this or any other Act; and

**Whereas** Section 11 (1) and (2) of the *Municipal Act, 2001, S.O. 2001, c. 25*, as amended, permits lower-tier municipality to provide any service or thing that the municipality considers necessary or desirable for the public including the passing of by-laws pertaining to governance structure of the municipality; and

**Whereas** Council adopted a renewed Advisory Committee structure at the November 14<sup>th</sup>, 2023 Regular Meeting of Council, in conjunction with the 2024-2027 Strategic Plan; and

**Whereas** Council adopted terms of reference for the Accessibility and Age Friendly Advisory Committee, Culture and Diversity Advisory Committee, and Environmental Advisory Committee at the January 8<sup>th</sup>, 2024 Regular Meeting of Council; and

**Whereas** it is deemed necessary to appoint new members to the Environmental Advisory Committee and Accessibility and Age Friendly Advisory Committee, of the Corporation of the Town of Arnprior to advise and represent Council on various matters under its jurisdiction; and

**Whereas** Council, at their meeting held on May 12<sup>th</sup>, 2025, provided direction to prepare an appointment by-law for Council's consideration.

**Therefore**, the Council of the Town of Arnprior enacts as follows:

1. **That** the following member be hereby appointed to the Environmental Advisory Committee:
  - Lessia Stefanison
2. **That** the following member be hereby appointed to the Accessibility and Age Friendly Advisory Committee:
  - Sharon Law

3. **That** all appointments, as noted within this By-law, shall be for the duration of the 2022 to 2026 term of Council, unless Council directs otherwise through resolution.
4. **That** any vacancies created through resignation will be advertised as staff deems appropriate when said vacancy occurs.
5. **That** any by-laws or resolutions or parts of by-laws and/or resolutions that are inconsistent with the provisions of this by-law are hereby repealed insofar as it is necessary to give effect to the provisions of this by-law.
6. **That** this By-law shall come into force and effect on the day of its adoption.

**Enacted and passed** this 26<sup>th</sup> day of May, 2025.

**Signatures:**

Lisa McGee, Mayor

Kaila Zamojski, Town Clerk

This by-law is deemed to be adopted on \_\_\_\_\_, 2025



**William R. Hunter**  
**Integrity Commissioner**

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BY E-MAIL

May 16, 2025

File No. 2024-006

E-Mail: [bill.hunter850@gmail.com](mailto:bill.hunter850@gmail.com)

Dear Ms. Kailia Zamojski (Town Clerk):

**RE: Integrity Commissioner Report – 2024**

Please be advised that for the calendar year of 2024 there was one complaint handled by the Integrity Commissioner. The complaint related to a complaint about a councillor. The complaint was dismissed.

Best Regards,

*William R. Hunter*

William R. Hunter  
Integrity Commissioner